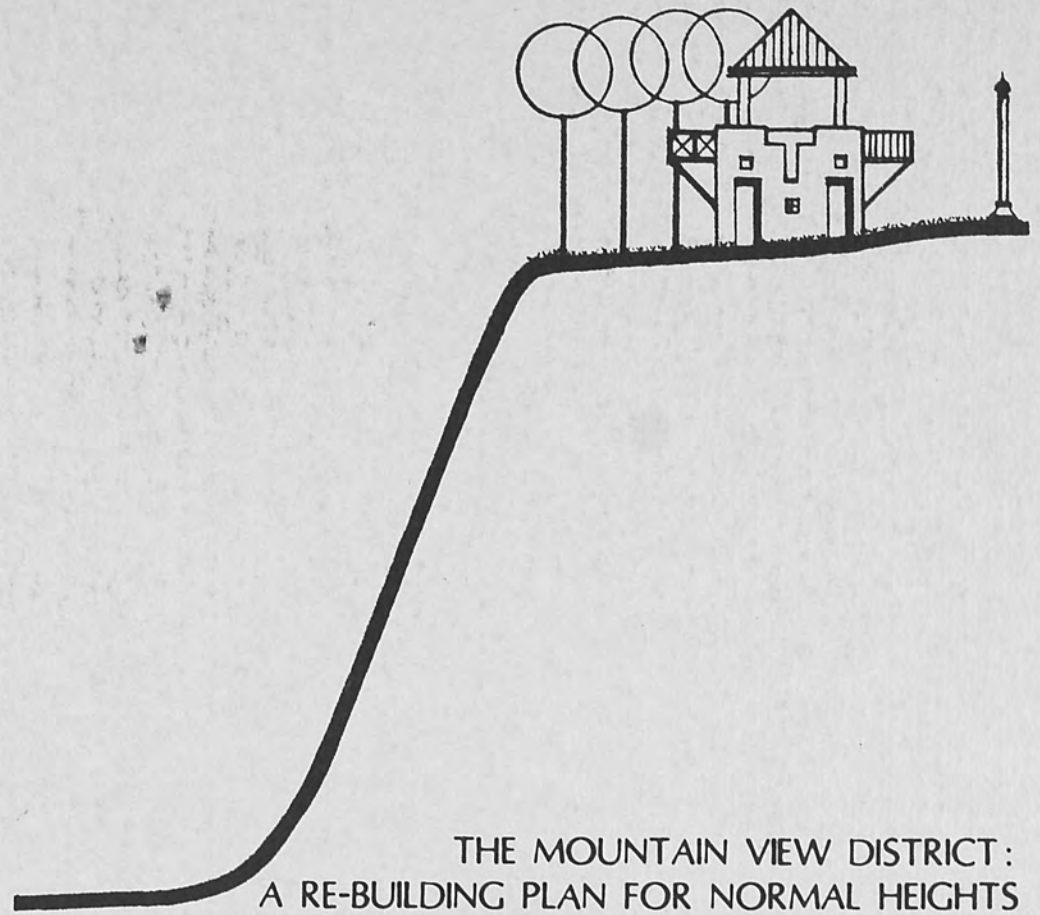


Library



THE MOUNTAIN VIEW DISTRICT:
A RE-BUILDING PLAN FOR NORMAL HEIGHTS

July 30, 1985

To the People of the Mountain View District:

The final report of the Community Design Assistance Team (CDAT) is presented herein. We are excited about the recommendations for the re-building of your district and are proud to have helped in its formulation.



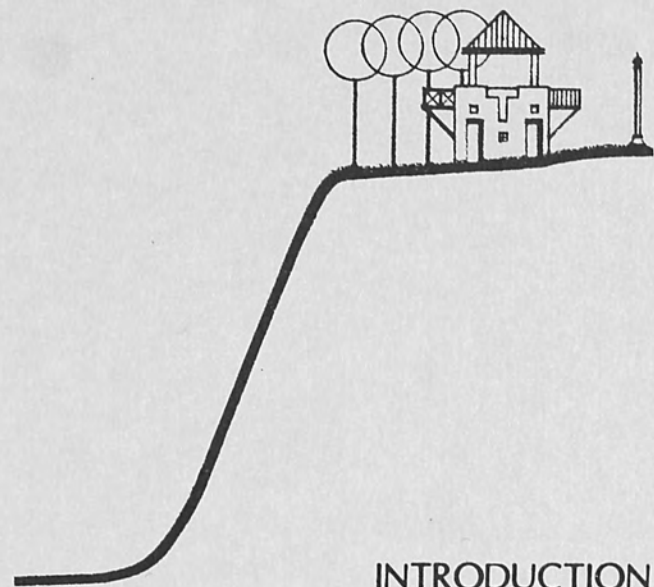
The Mountain View District Re-building Plan is a result of a three day design charrette community workshop which provided an excellent opportunity for CDAT to assist you in identifying appropriate objectives, goals, and priorities for your neighborhood, residence, and canyon areas.

These recommendations come exactly 30 days to the day after the worst fire in San Diego's history. It is a credit to you and the American Institute of Architects, San Diego Chapter along with the San Diego A.I.A. Foundation that quick and decisive action has been taken. Moreover, there are many local officials, state agencies, and community leaders that helped make this innovative process a success; they are all to be congratulated. In every endeavor, there is always one person who "leads the charge", Gary Rose-Weber, A.P.A., provided that effort as co-chairman of the Design Charrette Workshop.

I would also like to take this opportunity to urge everyone of you to become an active participant in the community; there was a great deal of "energy-in-the-air" that must be maintained throughout the long re-building process.

Sincerely,

Joseph P. Martinez, A.I.A.
Project Coordinator CDAT



INTRODUCTION

REPORT INTRODUCTION

The Normal Heights neighborhood was ravaged by the most destructive fire in San Diego's history on Sunday, June 30, 1985. Within 24 hours of the incident, literally while the site continued to smolder, efforts to rebuild began. The San Diego Chapter of the American Institute of Architects contacted community leaders, offering assistance, and received an immediate invitation to bring the resources of the institute to bear.

In cooperation with the Normal Heights Community Development Corporation, an organizational meeting occurred on Monday, July 8, at the office of the AIA. It was decided to proceed with a charrette the following weekend, July 12 thru 14. The Community Design Assistance Team held a public meeting for victims Friday evening and a workshop all day Saturday. By Sunday afternoon the results were presented to the community at a wrap up session. In effect, the product of many hours of volunteer effort was available to the public two weeks from the occurrence of the fire.

In the immediate aftermath of the disaster the community -- historically well organized and sensitive to its needs -- expressed a desire to rebuild within the framework of the existing neighborhood character. Older single-family homes representing several significant architectural styles, tree lined streets, and natural, undeveloped canyons were key factors in developing design responses.

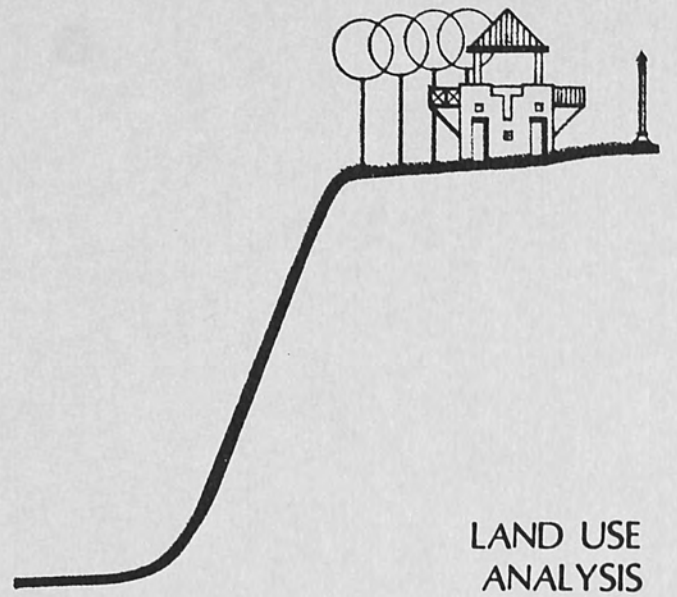
At the initial workshop, victims were still sorting out confusing details relative to the clearing of rubble and the sequence of rebuilding. Beyond that, there was genuine interest in regreening burned hillsides, preventing erosion problems, understanding fire prevention techniques, pursuing the possible creation of much needed park land and overlooks, and rebuilding homes in many cases the way they were before the fire. Many owners expressed interest in upgrading their homes, through expansion and modernization within the context of the original.

AIA team leaders, in cooperation with landscape architects and urban planners, defined their task in four ways:

- land use analysis based on the adopted Community Plan and victim's concerns
- relandscaping the canyons, yards, and the public right-of-way
- architectural guidelines
- technical assistance to help victims through the rebuilding process

Each team related its product to an appropriate timing sequence; short term, mid term, and long term. In this case short term is immediate, mid term is a matter of months, and long term is less than a year.

This documents was prepared primarily for victims, to help them approach the rebuilding process in a sensible way. It is intended as a guide for the various levels of government as well, so that they might bring appropriate attention and resources to bear in an expeditious manner. Finally, it is intended for general use by the neighborhood as a benchmark for related revitalization efforts in adjacent areas not touched by the fire but equally significant.

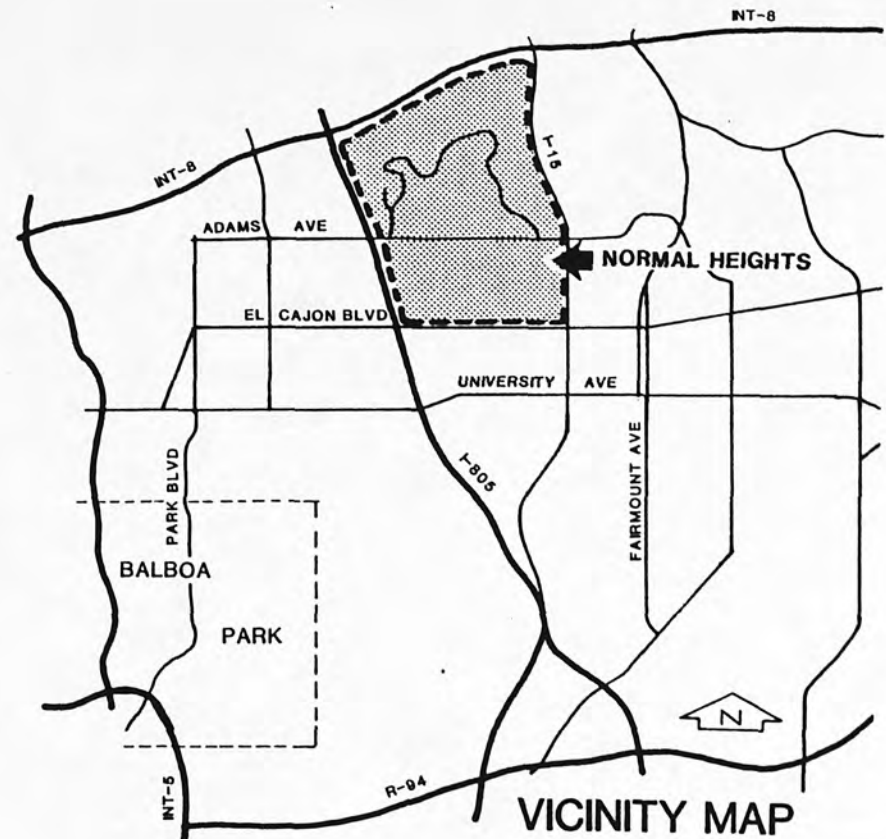


LAND USE
ANALYSIS

INTRODUCTION

The purpose of this land use analysis is to set out issues and opportunities that arise due to the fire and its aftermath. Workshop participants have had an opportunity to review the adopted Community Plan for the area. In doing so, their concerns focused primarily on four areas; the relationship of housing to existing lots, zoning, utilities, and parks. The land use analysis addresses these concerns and suggests opportunities that are particularly relevant due to the circumstances of the fire.

The Mid-City Community Plan, which includes Normal Heights, was adopted by the City Council six months prior to the fire. Because the Plan speaks to many issues currently related to the rebuilding process it is summarized herein as a prelude to the land use analysis.



COMMUNITY PLAN SUMMARY

Normal Heights falls within the Mid-City Community Plan area. Due to the size and complexity of this plan area, separate elements were prepared for each of eight neighborhoods.

The Normal Heights neighborhood element identifies several issues, goals and recommendations which are relevant to the fire site.

Issues

Deterioration of street surfaces, curbs, gutters and sidewalks.

Lack of passive park to accommodate the elderly and families with children.

Preservation of canyon rims as open space.

Deterioration of sewer and water mains.

Goals and Objectives

To identify the historical development and significance of Normal Heights.

To insure that new development is compatible with existing community character and scale.

To create new park space, wherever

possible in conjunction with new development.

To preserve canyons as open space.

To improve water pressure.

Recommendations

Maintain the single and two-family character of the neighborhood north of Collier Avenue.

Preserve the canyons on the south wall of Mission Valley as open space. Measures such as the use of overlay zones, rezoning, purchase, or transfer of development rights should be imposed.

Continue weed abatement programs for clearing vacant lots and canyons.

Where necessary, increase pressure to ensure the ability to fight fires, especially wildfires in canyons.

Acquire the undeveloped point at the north end of Cromwell Court as a public view point over Mission Valley. There is currently a section of designated parkland adjacent to this point. Other opportunity sites along the canyon rim should also be considered for acquisition.



HOUSING

Owners' Intent

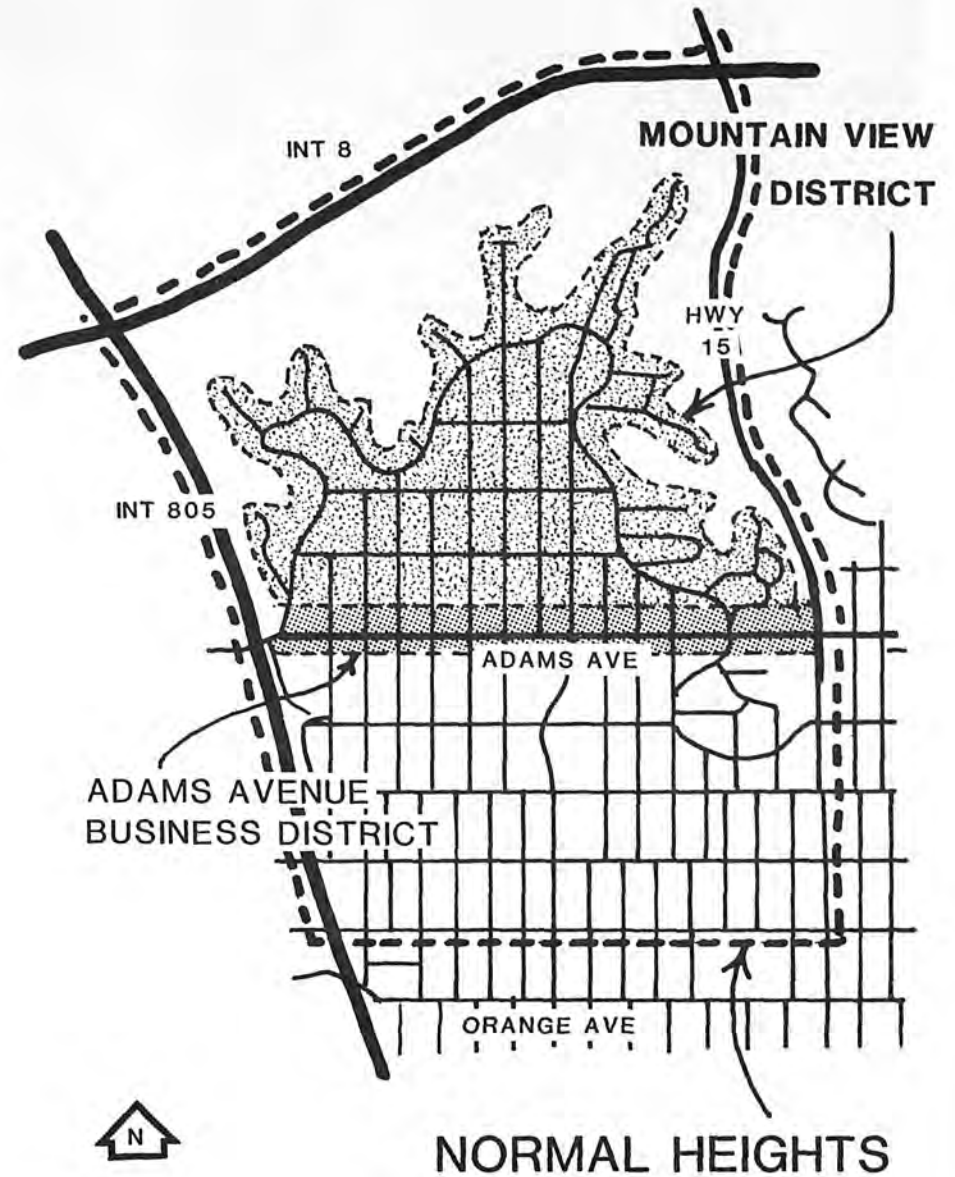
An immediate need is to survey the intent of owners in terms of their interest in rebuilding versus selling their property. A map should be prepared documenting intent. This will have a bearing on indentifying opportunities for possible acquisition for public park purposes.

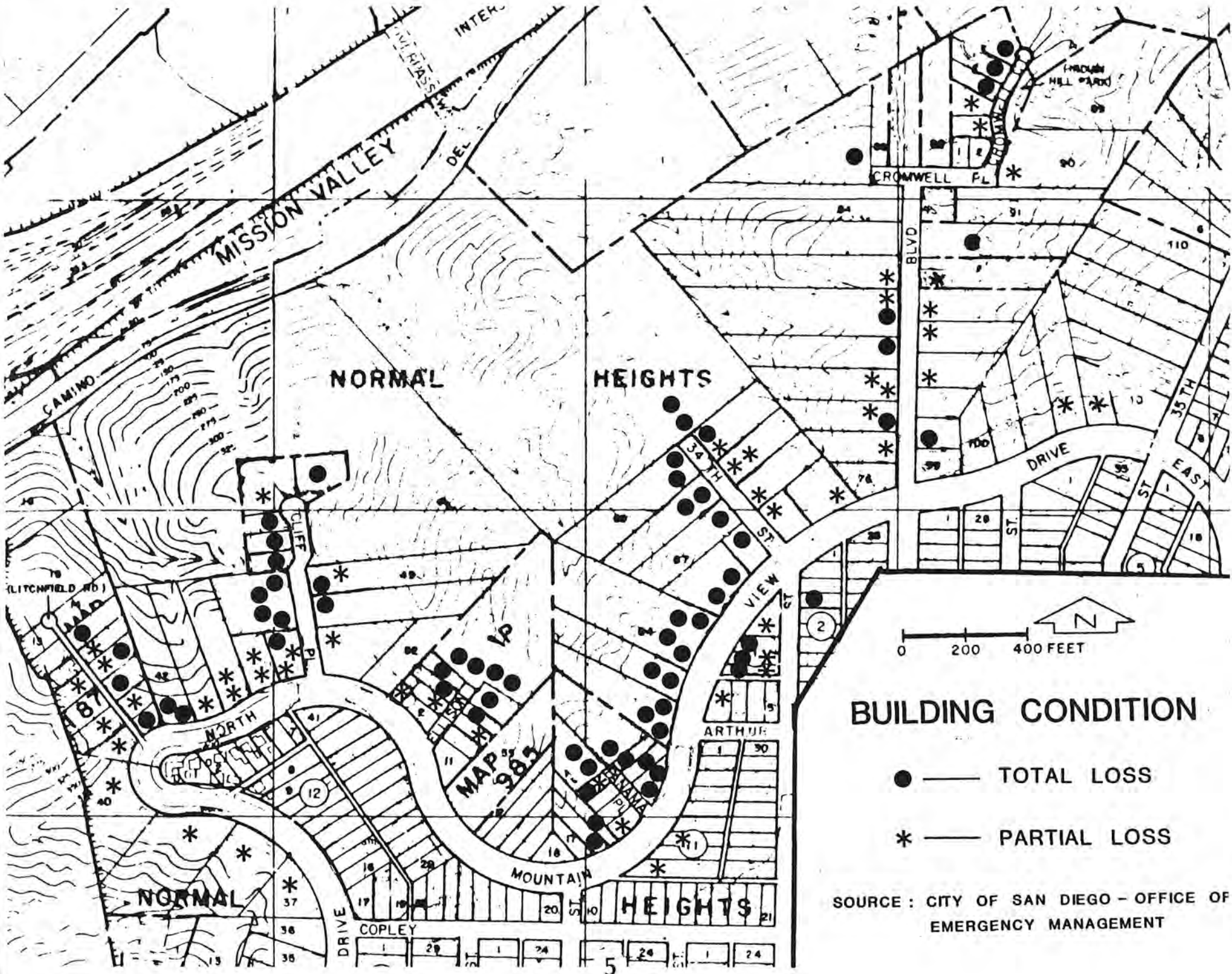
Type and Siting

An overriding consideration is that new homes should be built as single family, free-standing residences. The feasibility of homes with common walls, should adjacent owners desire it, was discussed. The purpose of this would be to allow larger side yards where irregular lots may limit rebuilding opportunities. There is concern by some residents that this might set an unfavorable precedent. A possible solution in some cases might be acquisition of existing houses (move offs) which are available for moving onto lots where homes are destroyed.

Scale

It is expected that larger homes may be desired by some victims. The focus, in such cases, should be to insure that their scale maintains the existing character of the neighborhood.





BUILDING CONDITION

- — TOTAL LOSS
- * — PARTIAL LOSS

SOURCE : CITY OF SAN DIEGO - OFFICE OF EMERGENCY MANAGEMENT

ZONING

Existing

The fire site is currently zoned R1-40,000, R1-5000, and R-3000. An emergency ordinance adopted after the fire prohibits Planned Residential Developments (PRDs) for a one year period. The City Planning Department is considering another emergency measure which would rezone the R-3000 property to R1-5000.

Variances

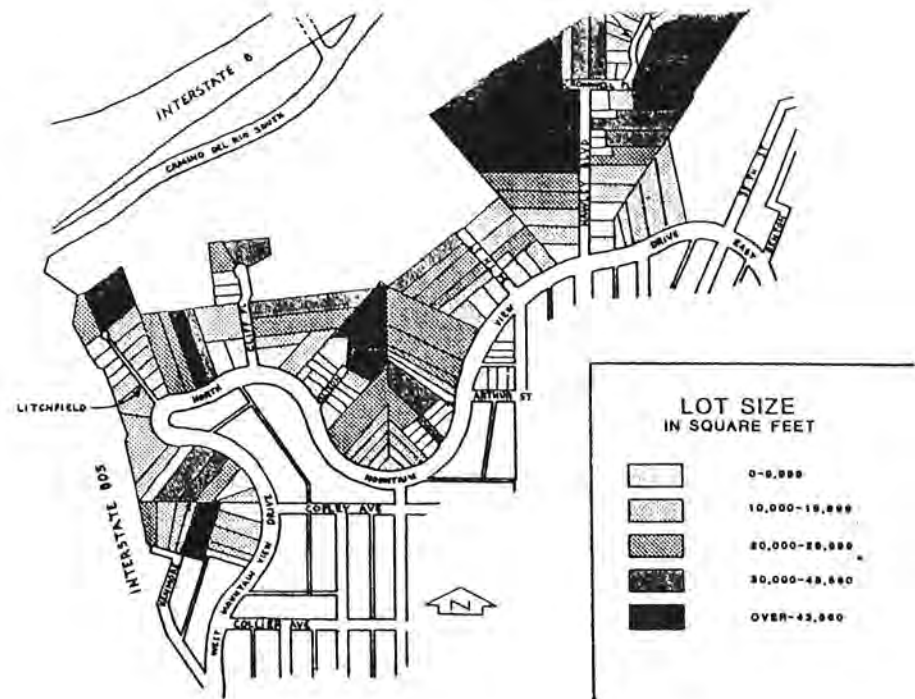
The generous use of variances should be permitted during the rebuilding process in order to allow maximum flexibility to owners with irregular shaped lots. In some cases it may be desirable to encroach into required front yards in order to site the house away from the canyon and future fire danger. In other cases side yards may necessarily be minimum size or even zero in order to provide useable yards on one side.

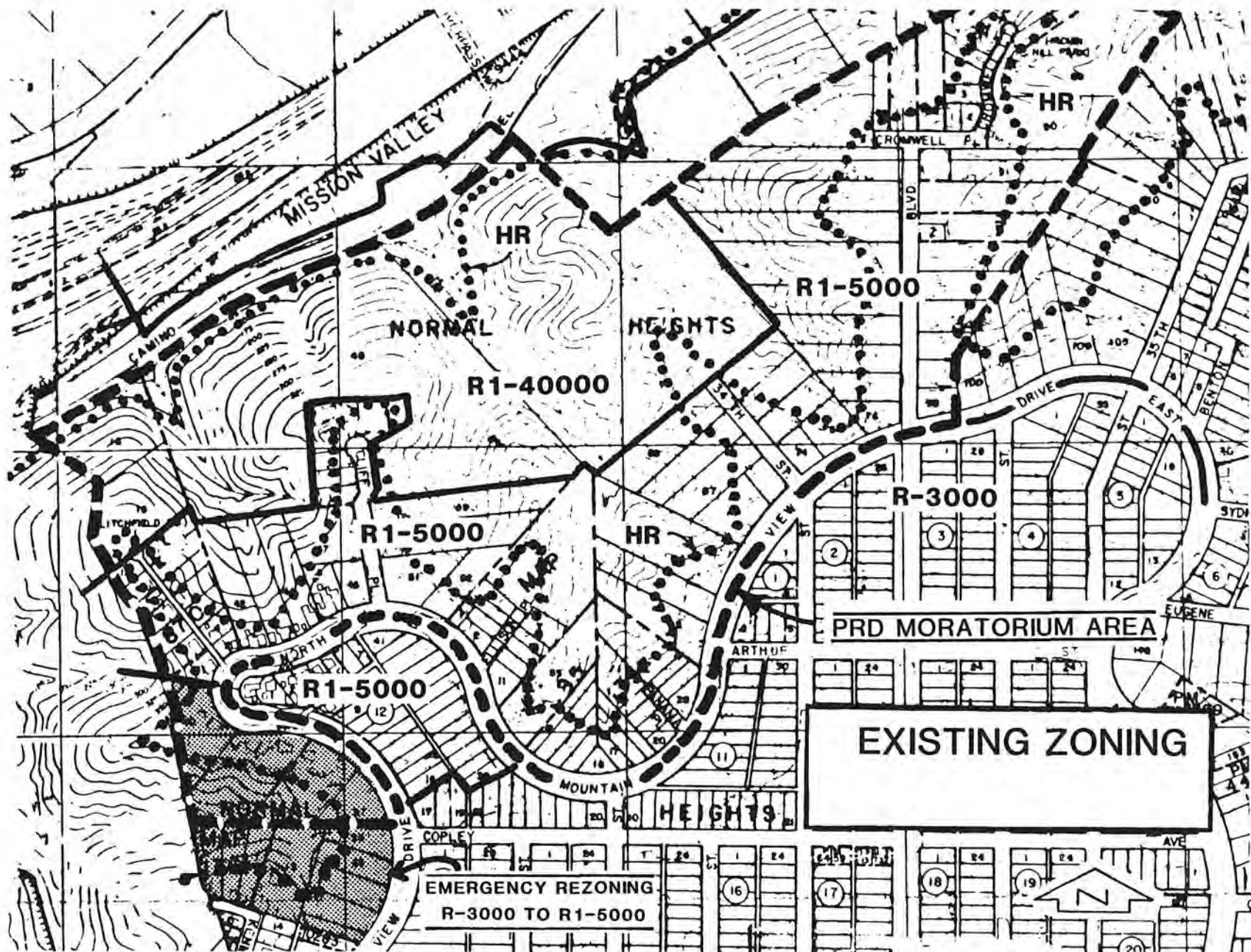
Rezoning Options

An assessment of community sentiment reveals that fire victims and adjacent residents desire to keep the single family character of their neighborhood. To this extent rezoning to R1-40,000 provides a means of limiting future development possibilities but also restricts future development because of unusually large setback requirements. A simpler approach would be a

prohibition on lot splits, a minimum required street frontage of 30 feet which would tend to preclude infill development, or a permanent prohibition on PRDs.

Without permanent restrictions, as many as 208 dwelling units could be built on the 169 lots in the R1-5000 area due to the large size of some of the lots although even this would not be permitted under normal circumstances unless the development was determined to be in character with the existing neighborhood.





UTILITIES

Much discussion focused on the condition of various utilities, and their placement. Overriding considerations are as follows:

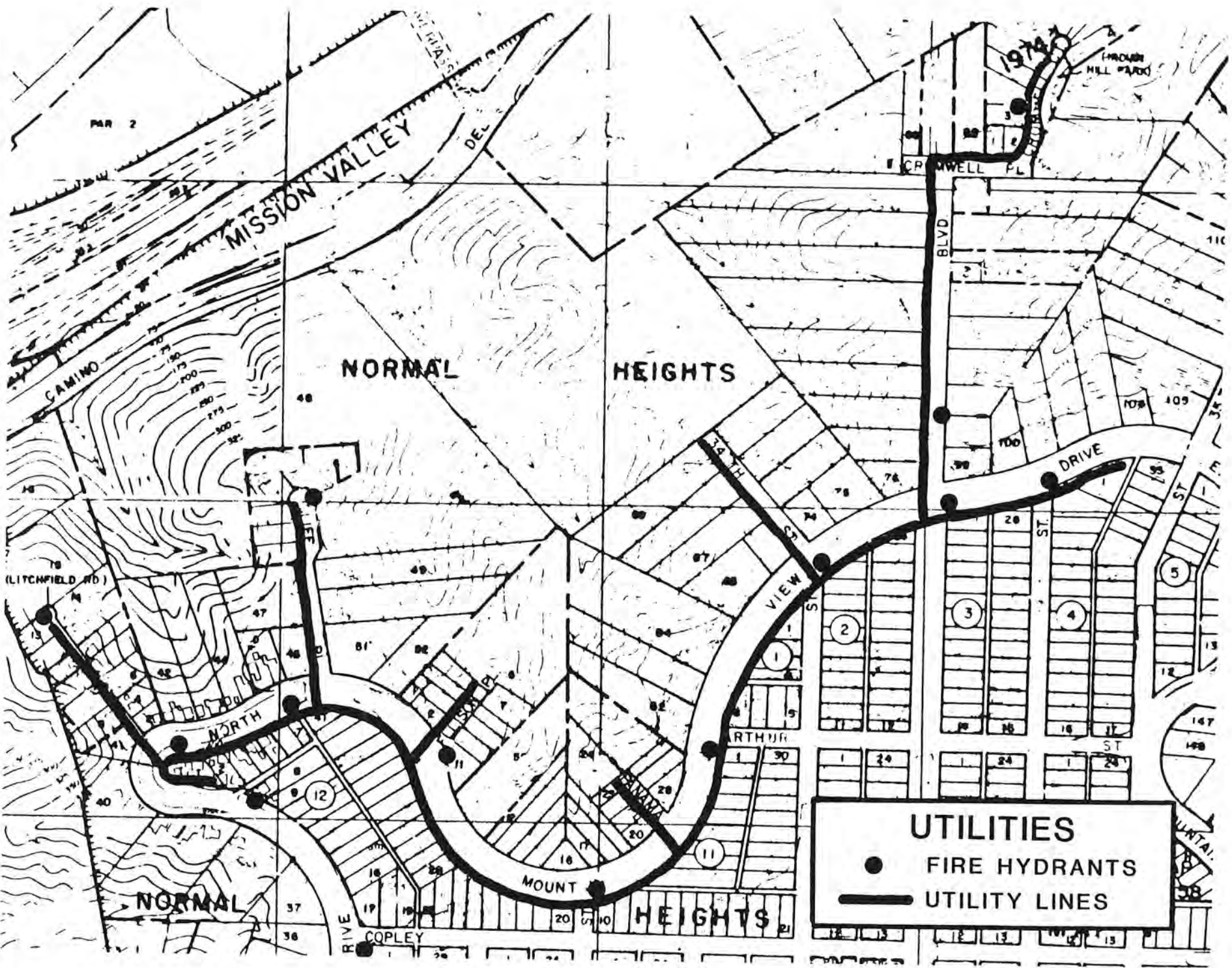
Water - There should be an analysis of the location and spacing of fire hydrants. Concern was raised by residents that the nearest hydrants in certain locations are a great distance from residences and canyon access. In evaluating water pressure an important consideration is that older, remaining homes have galvanized pipes, subject to rupture if a substantial boost in water pressure occurs.

Sidewalks - In replacing broken sidewalks there should be some consideration given to replacing deteriorating walks that may not necessarily have been damaged as a result of the fire. Also, an ornamental scoring pattern exists and should be used in the replacement process.

Utility Poles - All damaged streets are serviced by overhead wires. There has been some thought to undergrounding service provided an arrangement between the City, SDG&E, and property owners can be developed. While there seems to be a reluctance by the owners to assess themselves for the expense there may be an opportunity in rebuilding to at least provide for on site underground service to the front property line at little extra cost. This would allow for future undergrounding in the public right-of-way without added expense to owners.

Streets - There was some concern that certain streets, in particular Ellison Place and 34th Street, are very narrow. Widening was suggested as a means of addressing the problem although existing planting and street furniture may limit this option.

Lighting - Some consideration should be given to the adequacy of street lighting. There may be an opportunity to introduce ornamental lighting standards as a prototype in selected locations while improving lighting conditions.



PARKS

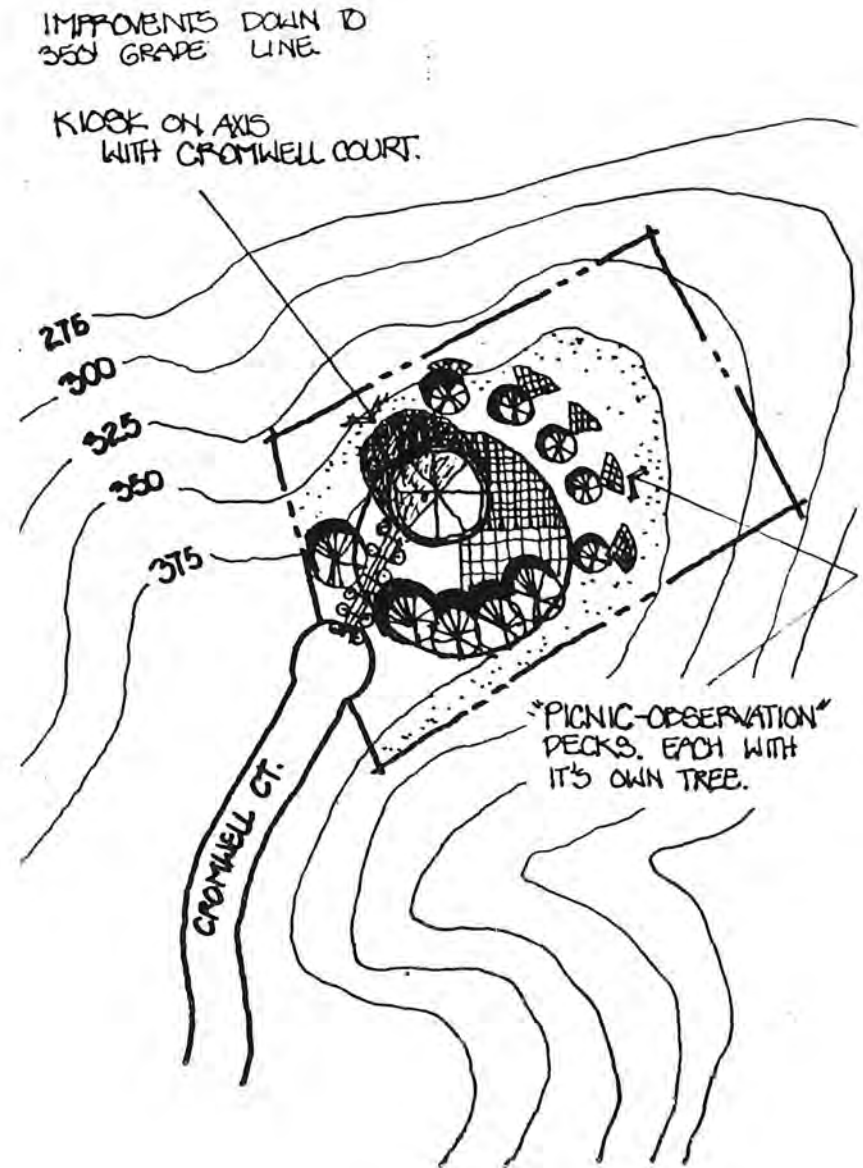
City-owned Land

City owned land has been identified along the rim. A small useable parcel is located on the eastern side of the extension to Ellison Place while an unusable yet dedicated public park exists at Cromwell Point. It was proposed that the city consider acquisition possibilities at several sites, depending upon the intent and desire of adjacent owners.

Feasibility

Much discussion focused on the tremendous opportunity to introduce small parks and overlooks along the rim at selected locations. It was suggested that these sites have primarily pedestrian and bicycle access. It was the consensus of designers and workshop participants that any landscaping of public park spaces be of a fire retardant variety and drought resistant. Concerns raised included the possibility of overlooks becoming gathering places for undesirables, carelessness by users that could lead to another fire, and accessibility by users to the rear of adjacent residences.

The overriding consideration was that the feasibility of park development be explored, and that potential problems be addressed in the design, with solutions identified.



Site Identification

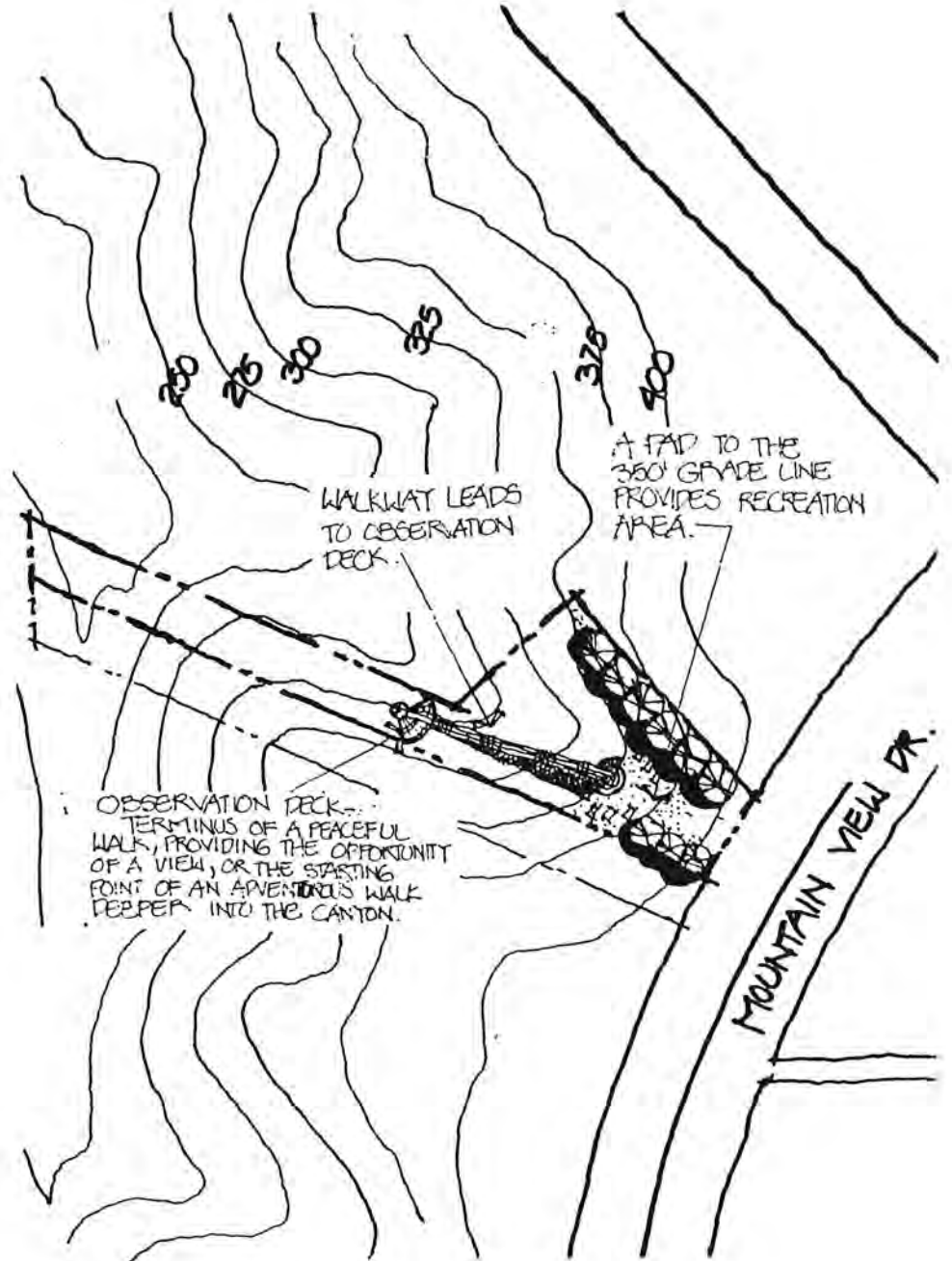
The following sites have been identified as the most feasible park / overlook possibilities.

Cromwell Court - Adjacent to the dedicated sliver of park are four lots on a level pad that have been historically used by community residents as a viewpoint. There has been concern about congestion, especially during fireworks events at the stadium in the past. The site is, however, continually used by the public.

34th Street Point - This property has a pending PRD which proposes 26 residential units. The entire parcel is about 40 acres and provides the best opportunity for the public acquisition and development into a small park on the rim and permanent open space in the canyon.

N. Mountain View Drive - There are several exceptionally shallow lots along the rim (less than 50 feet deep) that could be configured into an overlook if the owners happen to choose not to rebuild.

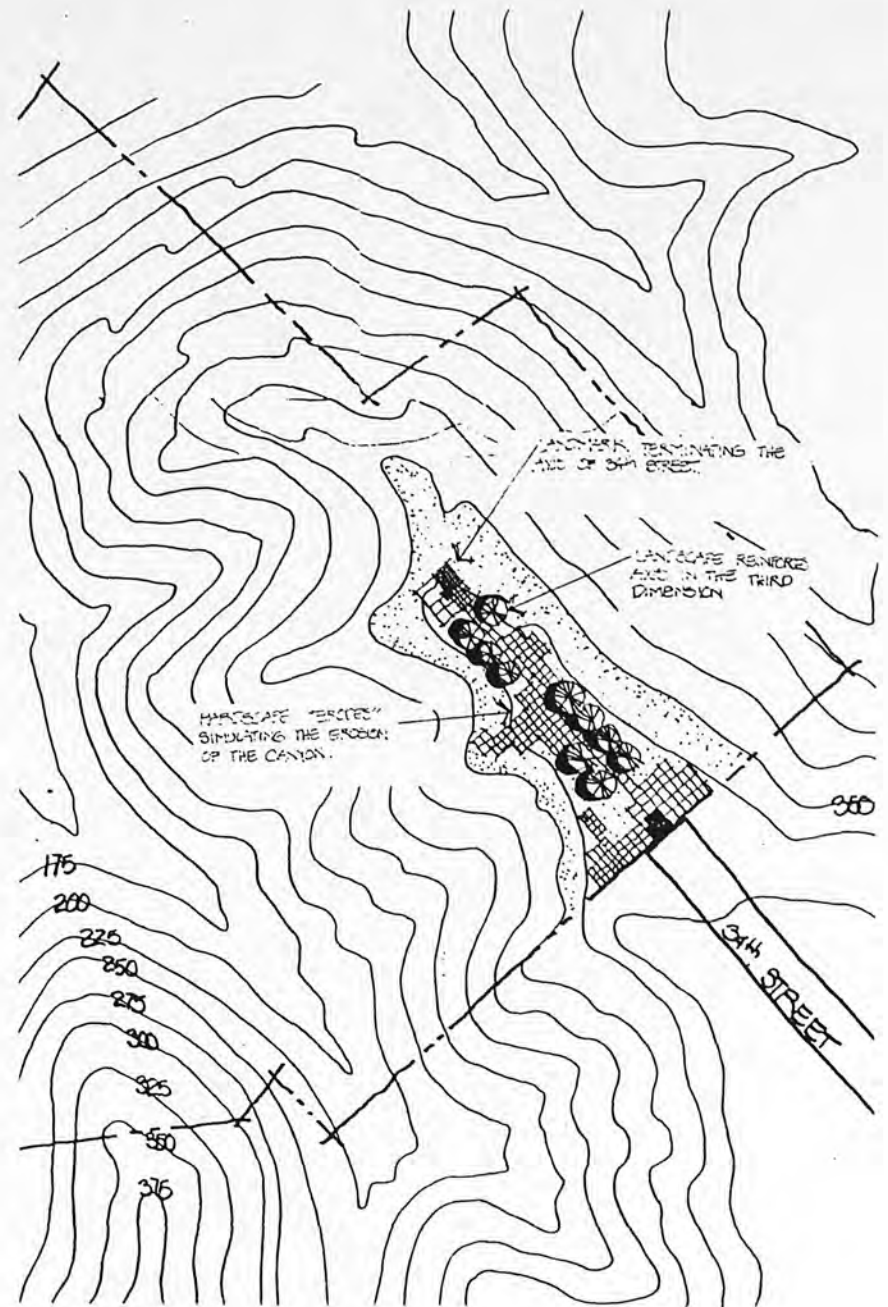
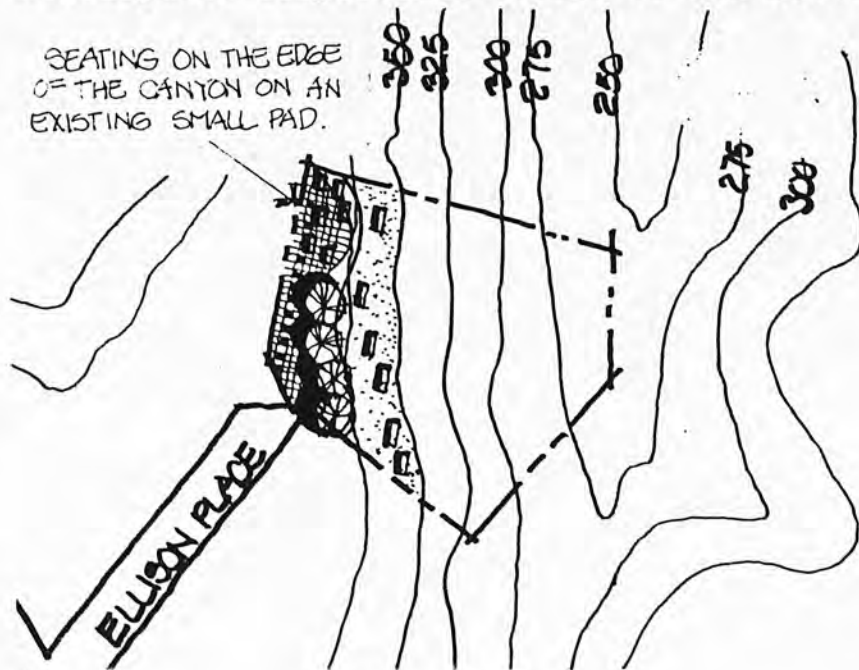
Ellison Place - There is a city owned parcel that contains a useable pad on the east side of the extended street that could become a landscaped overlook at minimum cost.

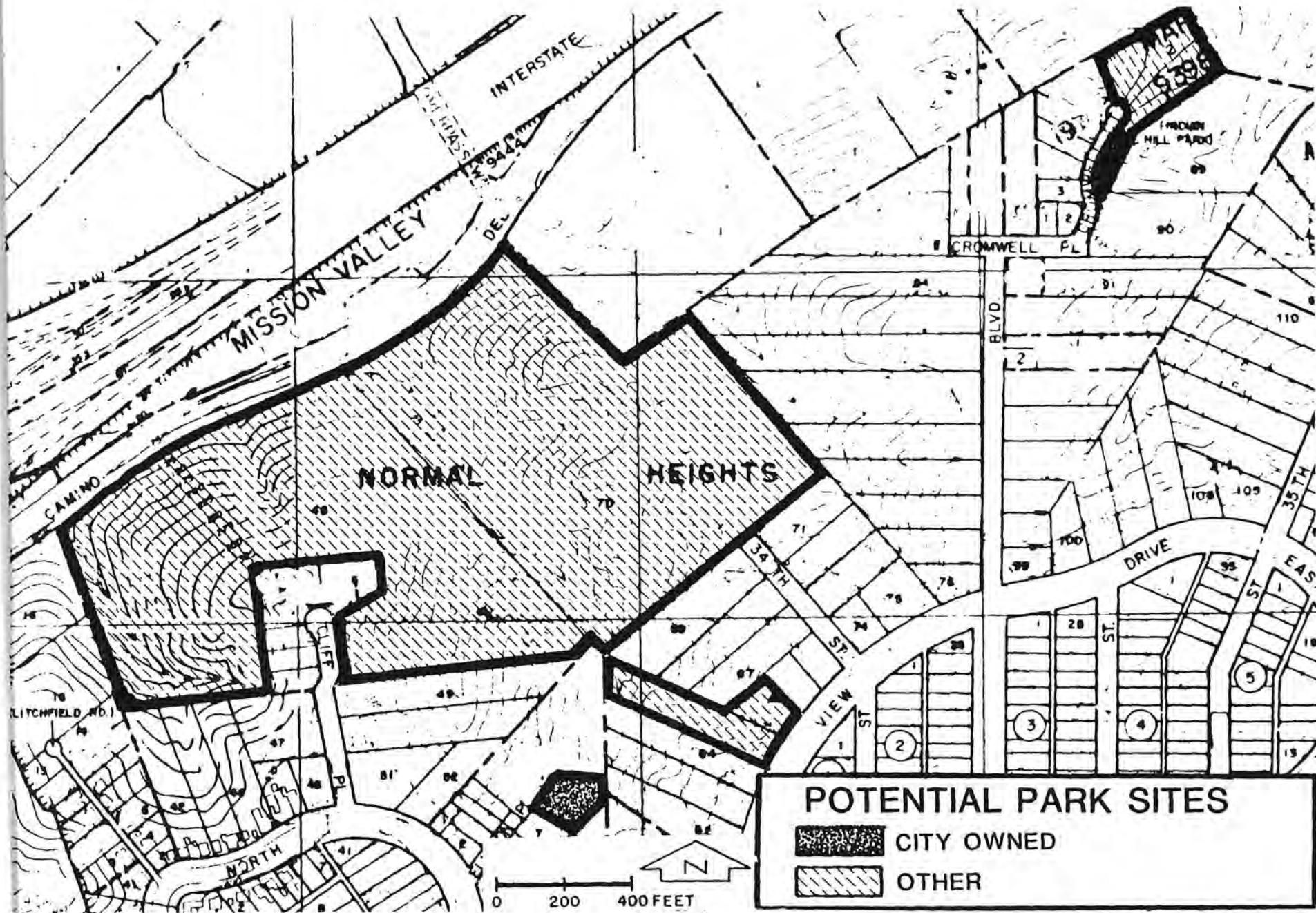


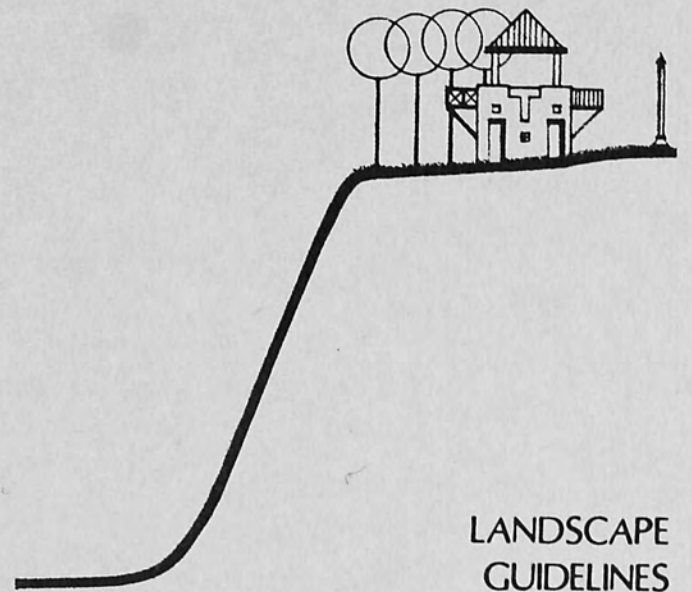
Acquisition and Development

In each case, the most feasible means of obtaining park space is through public acquisition. Mechanisms include purchase, probably with Proposition "C" Open Space Funds, or transferring development rights in return for deeding the property to the City. The latter is more sophisticated but less expensive in the long run. Development of parks should occur in a reasonable period in order to complete the rebuilding effort.

At present the Normal Heights Development Corporation is fundraising in order to augment public resources for purposes of park development. For more information on this community based effort, contact the Development Corporation office at 563-0034.







LANDSCAPE
GUIDELINES

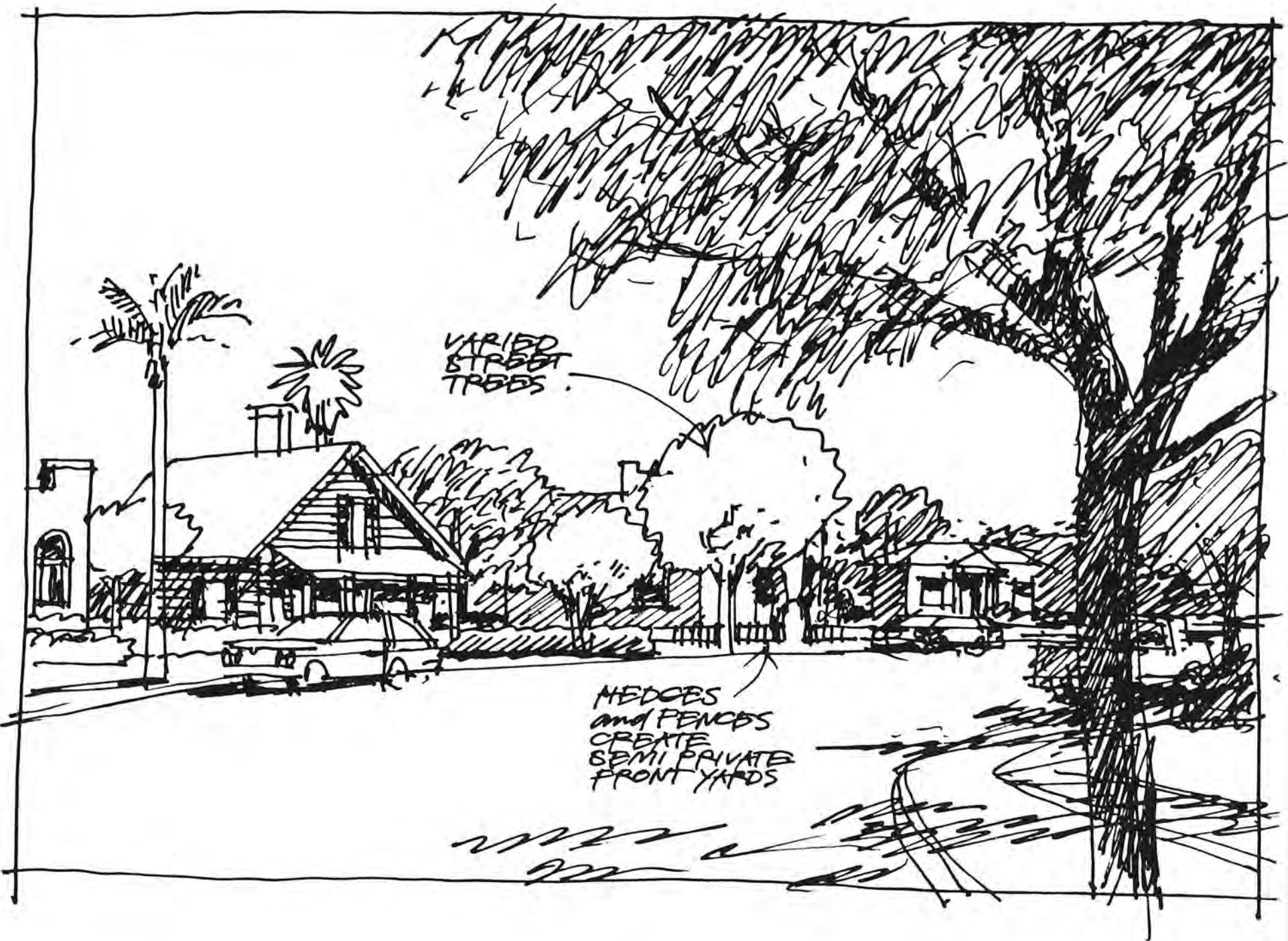
INTRODUCTION

A significant feature in defining a neighborhood's visual quality is the landscape. San Diego contains a number of residential communities where the quality and image of the neighborhoods are often expressed through the landscape character. In Kensington, the palm lined street with lawn covered front yards identifies the unique landscape quality of the community. The wrought iron gates posted at the entry to certain streets in Talmadge, is a "signature" for the neighborhood. In Rancho Santa Fe, plant material alone expresses the visual and exclusive character of the community.

The purpose of this section of the document is to provide landscape recommendations which contribute to the rebuilding of the Mountain View district into a unique residential enclave of the city of San Diego. A number of landscape features are already in place which will assist home owners and other responsible parties in the rebuilding effort. The most prominent feature is the canyons. Although the canyons may be viewed as a source of the problems at hand, they are, nonetheless, the "signature" of the Mountain View district and the Normal Heights community as a whole. A second landscape feature of the neighborhood is the front yards. The neatly maintained individual front yards, sometimes set off from the public walkways by way of a low fence or hedge, is a feature which is special to this portion of the City of San Diego.

The recommendations which follow will focus on maintaining or enhancing the two prominent landscape features of the neighborhood. The discussion on the canyons provides methods and techniques for controlling what is viewed as an immediate concern, slope erosion control and fire suppression. Recommendations for establishing public, as well as private long term maintenance programs are also discussed.

Recommendations concerning streetscape and individual lot landscaping are viewed as a secondary priority. However, examining issues relating to the community's future visual image is important. Thus, a discussion concerning street landscaping, front yards, and rear yards is included under the title "Community Public Image".



VARIED
STREET
TREES

MEDGES
and FENCES
CREATE
SEMI PRIVATE
FRONT YARDS

Goals and Objectives

The recommendations concerning canyon and streetscape landscaping have evolved out of a series of potential problems identified by homeowners and neighbors of the Mountain View area. The issues or problems identified at the July 12th workshop are listed below. They are numbered per their priority in terms of being evaluated and accomplished.

1. Evaluation of the cause and effect of the fire on canyon vegetation.
2. Slope erosion control.
3. Fire suppression techniques.
4. Control mechanisms or programs concerning continued maintenance of the canyon.
5. Landscaping of the street and front yard areas.

These community concerns were then translated into a series of goals and objectives and ranked in terms of priority of accomplishment. They are as follows:

I. Short Term

A. Evaluation

1. Formation of a reviewing group or agency to evaluate and make recommendations concerning canyon/open space conditions.
 - a. Burned areas (public and private)
 - * Tree Conditions
 - * Erosion potential
 - * Seed/Plant germination
 - * Visual Image
 - b. Unburned areas (public and private)
 - * Existing high fuel areas
 - * Potential fire hazards

B. Provide Solutions

1. Techniques for erosion control
 - a. Immediate
 - * Hydroseeding low cover
 - * Jute mesh
 - * Sandbagging
 - * Check Dams
 - b. Long term
 - * Tree/shrub plantings
 - * Structural (walls, terraces)
 - * Irrigation buffer

II. Mid Term

A. Have in place

1. Fire supression techniques
 - a. Buffer treatment
 - * Stuctural (walls, building materials)
 - * Plant herbaceous material
 - * Bluff top irrigation
 2. Maintenance and control programs
 - a. Individual lot owners
 - b. Homeowners Associations (assessment)
 - c. Homeowners Association (volunteer)
 3. Enforcement Program
 - a. Existing Neighborhood Watch Program for fire supression
 - b. Clearing standards

III. Long Term

A. Continuing Effort

1. Enhancement of community image
 - a. Public areas
 - * Public right-of-way (street tree parking)
 - * Major open space features (parks)
 - b. Private areas
 - * Front yards (landscaping)
2. Continued fire supression maintenance
 - a. Canyon areas
 - b. Private rear yard areas

Community Image

Although the focus of the landscape analysis is to provide immediate recommendations to mitigate anticipated environmental problems within the canyon, other landscape areas damaged by the fire should not be ignored. Recommendations for landscaping beyond the realm of the canyon slopes have been organized under the heading of Community Image.

The following sketches provides recommendations for Street Character, Front Yard Landscaping, Side and Rear Yard Landscaping and is organized under these three headings.

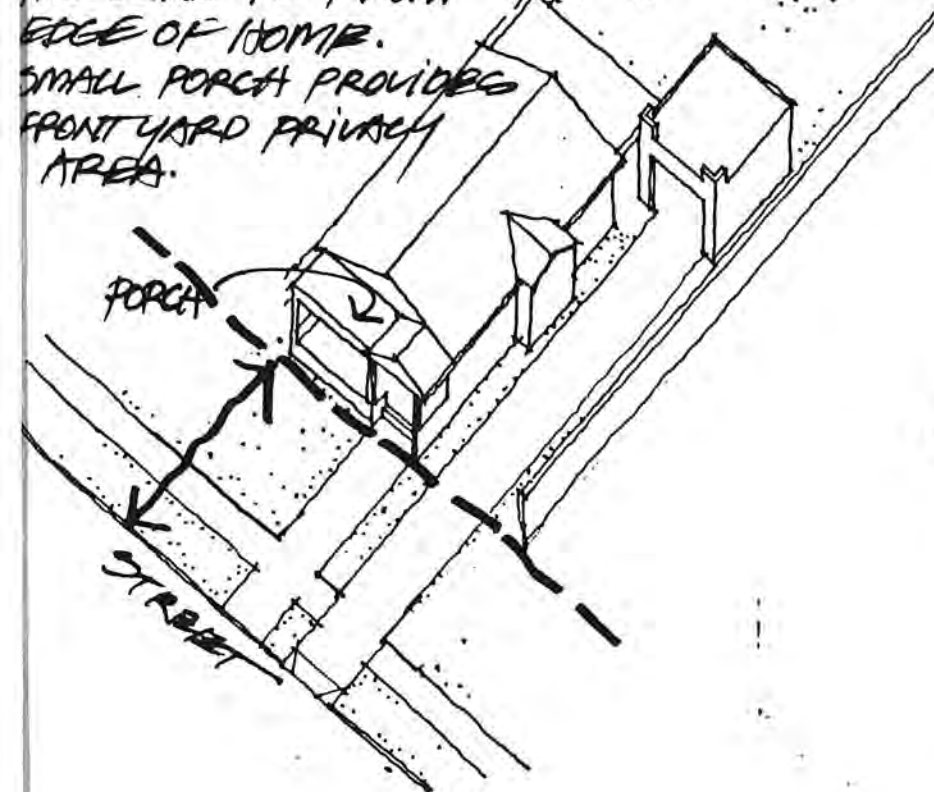
STREET EDGE CONDITIONS

THERE ARE TWO PROMINENT "FRONTYARD" LANDSCAPE THEMES WITHIN THE COMMUNITY. EITHER THEME IS ENCOURAGED WHEN RELANDSCAPING.

THE ILLUSTRATION BELOW AND THAT FOLLOWS GIVES SOME HINTS AS TO THE THREE "ZONES" TO CONSIDER WHEN PLANNING AND DESIGNING THE LOT.

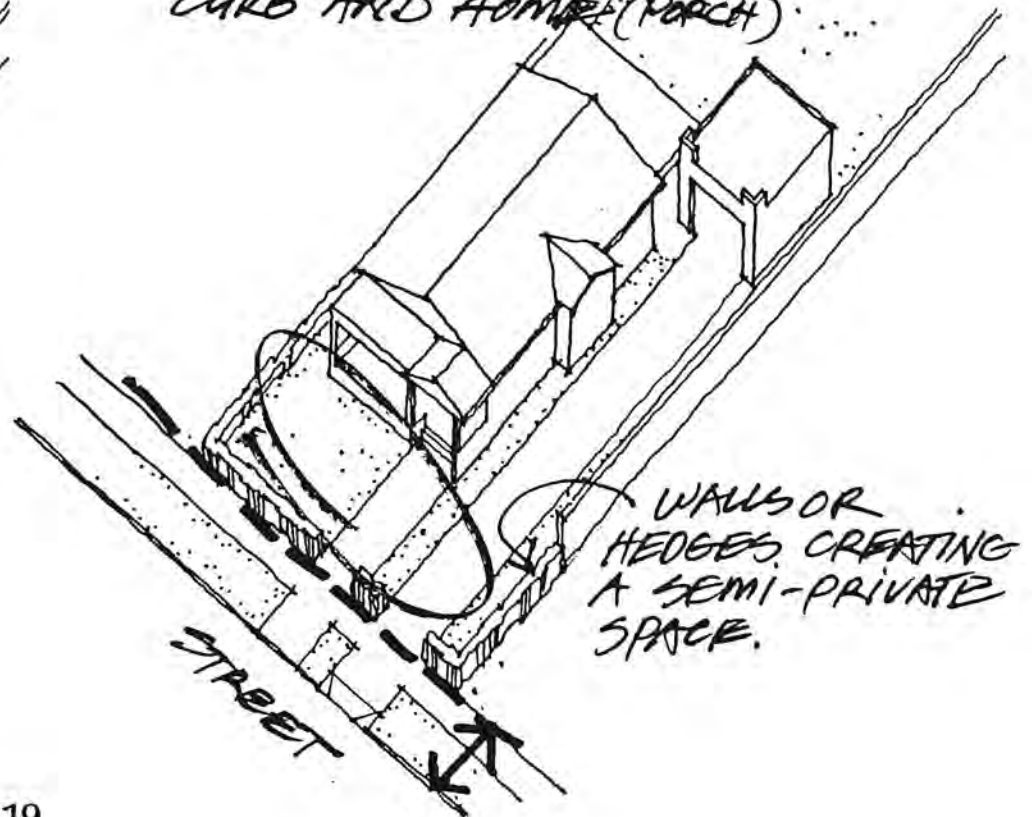
EXPANDED STREETSCAPE THEME:

LAWN EXTENDING FROM THE CURB TO FRONT EDGE OF HOME.
SMALL PORCH PROVIDES FRONTYARD PRIVACY AREA.



COURTYARD/PATIO THEME:

ENCLOSED SPACE BETWEEN CURB AND HOME (PORCH)



REAR AND SIDEYARDS

PRIVATE

REAR YARD AREAS
FOR FAMILY ORIENTED
ACTIVITIES, WORK SPACE,
OR STORAGE.

Front Porch
off dining area
or study

Patio
or garden

STREETSCAPE

PUBLIC AREA

SHOULD PRESENT
SOME IMAGE OF
COMMUNITY WIDE
CHARACTER - I.E.

TREES
WALKS, LIGHTS

FRONT YARDS

SEMI-PRIVATE AREAS

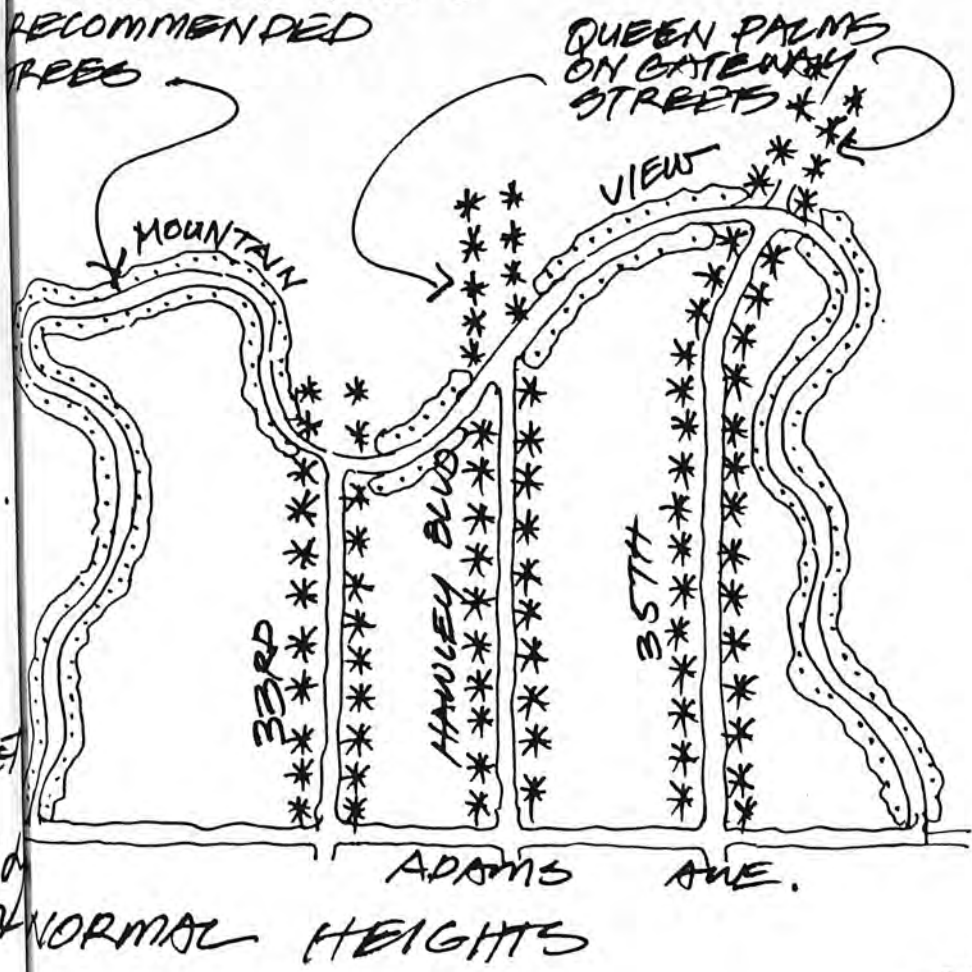
PRIVATE FRONT YARDS.
HOWEVER STILL PART
OF THE COMMUNITY'S
PUBLIC IMAGE.

- * extension of lawn from street to front yard.
- * use of community street trees in front yard.

STREETSCAPE : TREES

RECOMMENDED STREET TREES FOR NORMAL HEIGHTS.....

MIXTURE OF FOUR RECOMMENDED TREES



NORMAL HEIGHTS

QUEEN PALM - AS EXTENSIONS OF GATEWAY STREETS



JACARANDA - NICE FLOWERING COLOR! USE IN BETWEEN OAKS AND PALMS



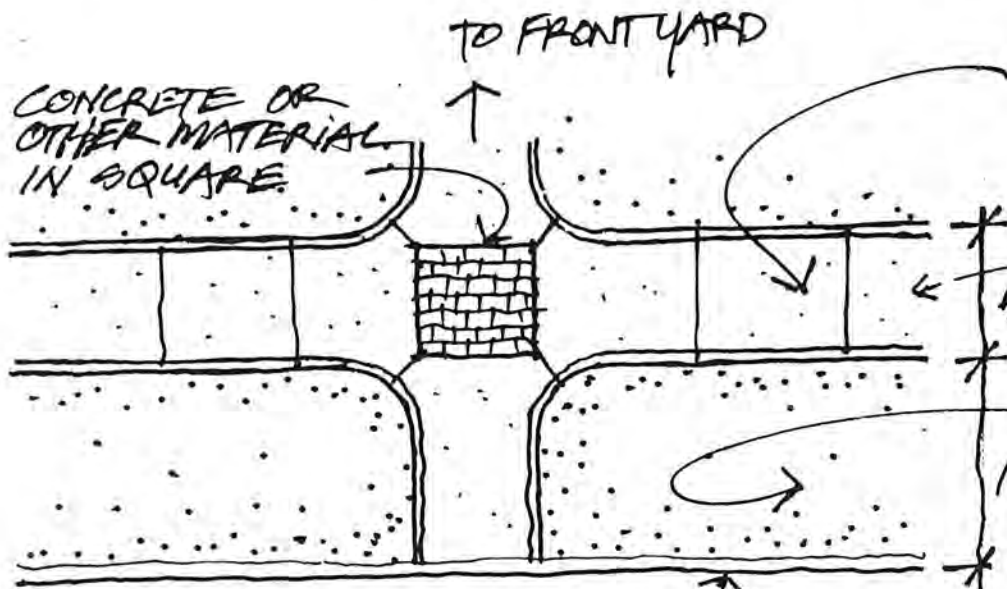
COAST LIVE OAK - WHERE CANYON EDGE ABUTS MOUNTAIN VIEW



LONDON PLANE - SAME CONDITIONS AS JACARANDAS

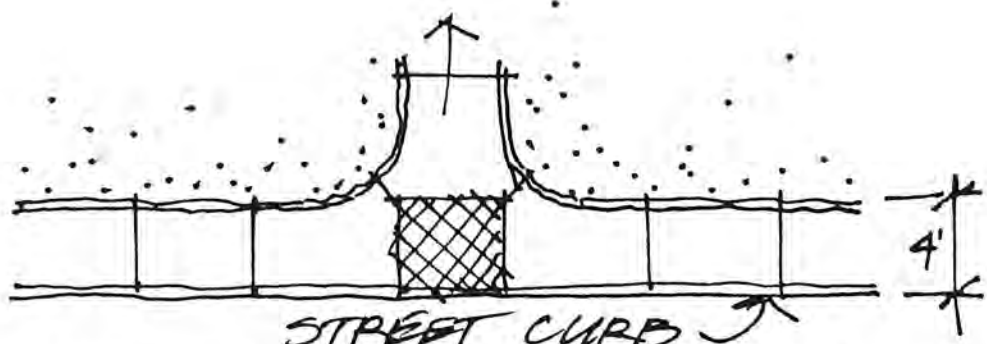


STREET SCAPE: SIDEWALKS (PLAN VIEW)

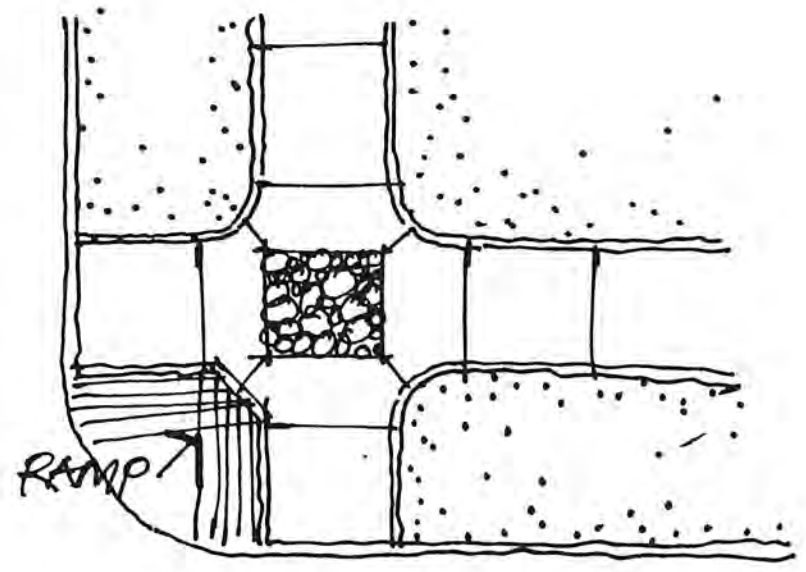


GREY CONCRETE WITH LIGHT BROOM FINISH. (SEE DETAIL NEXT PAGE)

STREET CURB ALONG MOUNTAIN VIEW

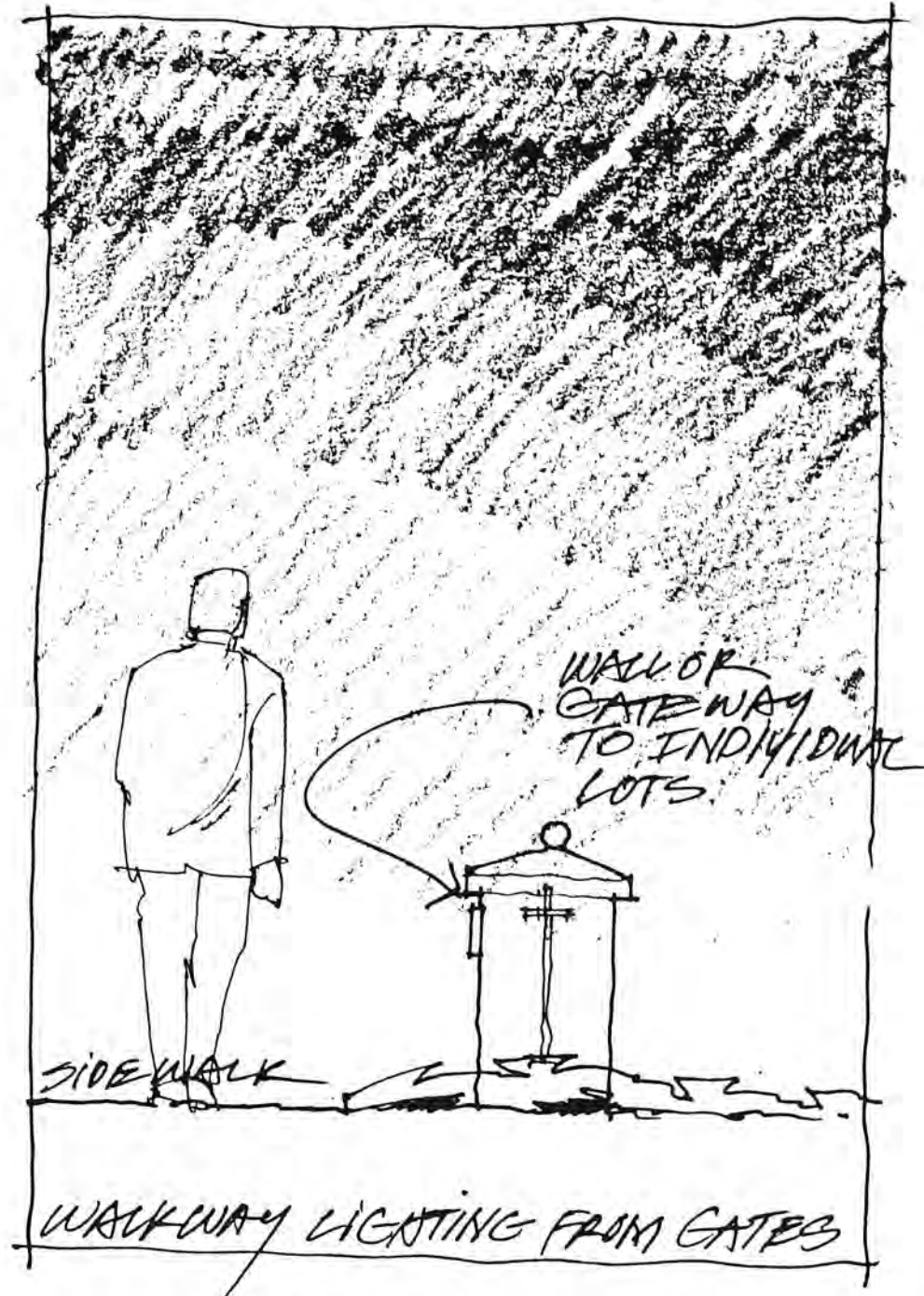


STREET CURB ALONG FINGER CANYON STREETS 22

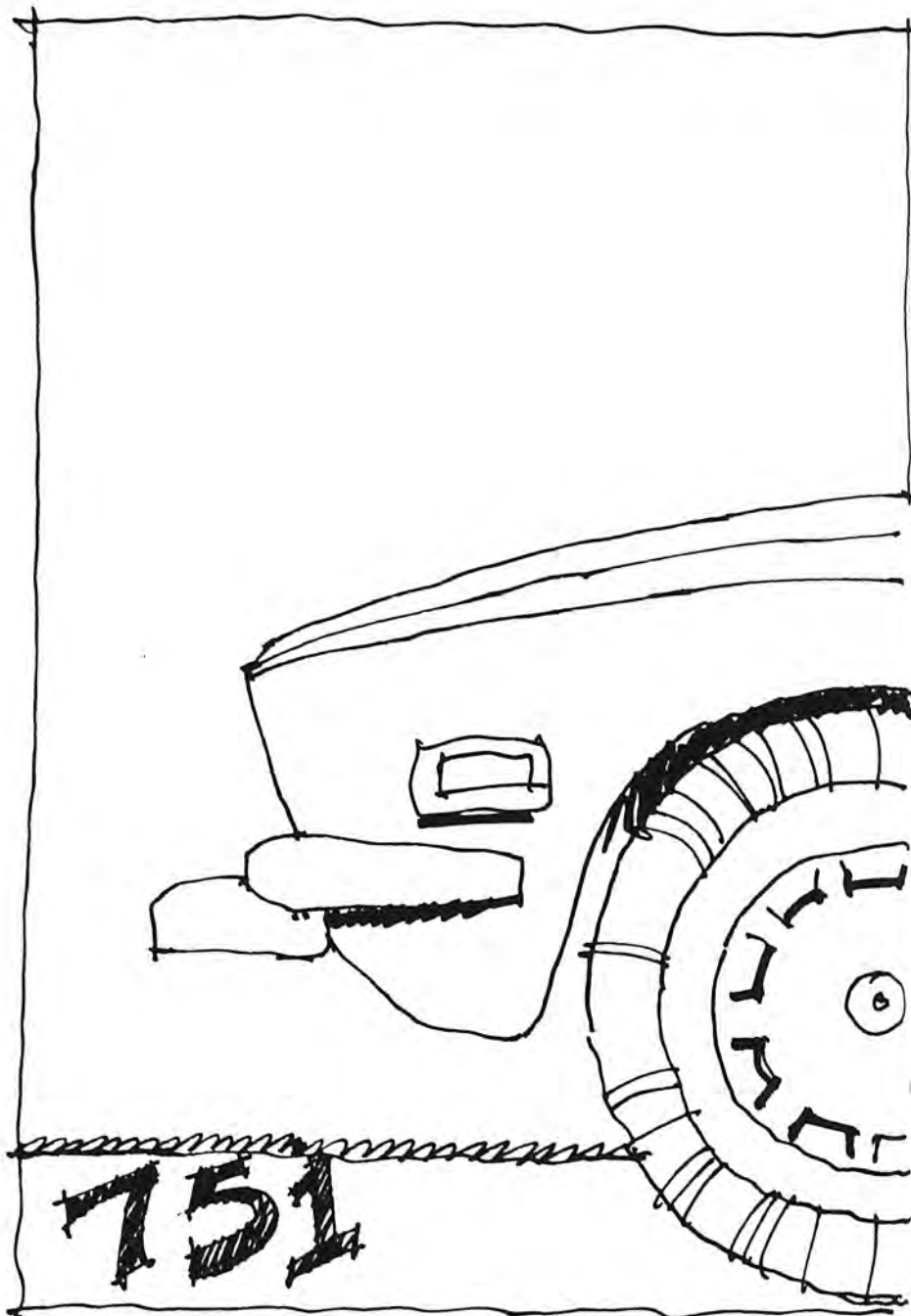
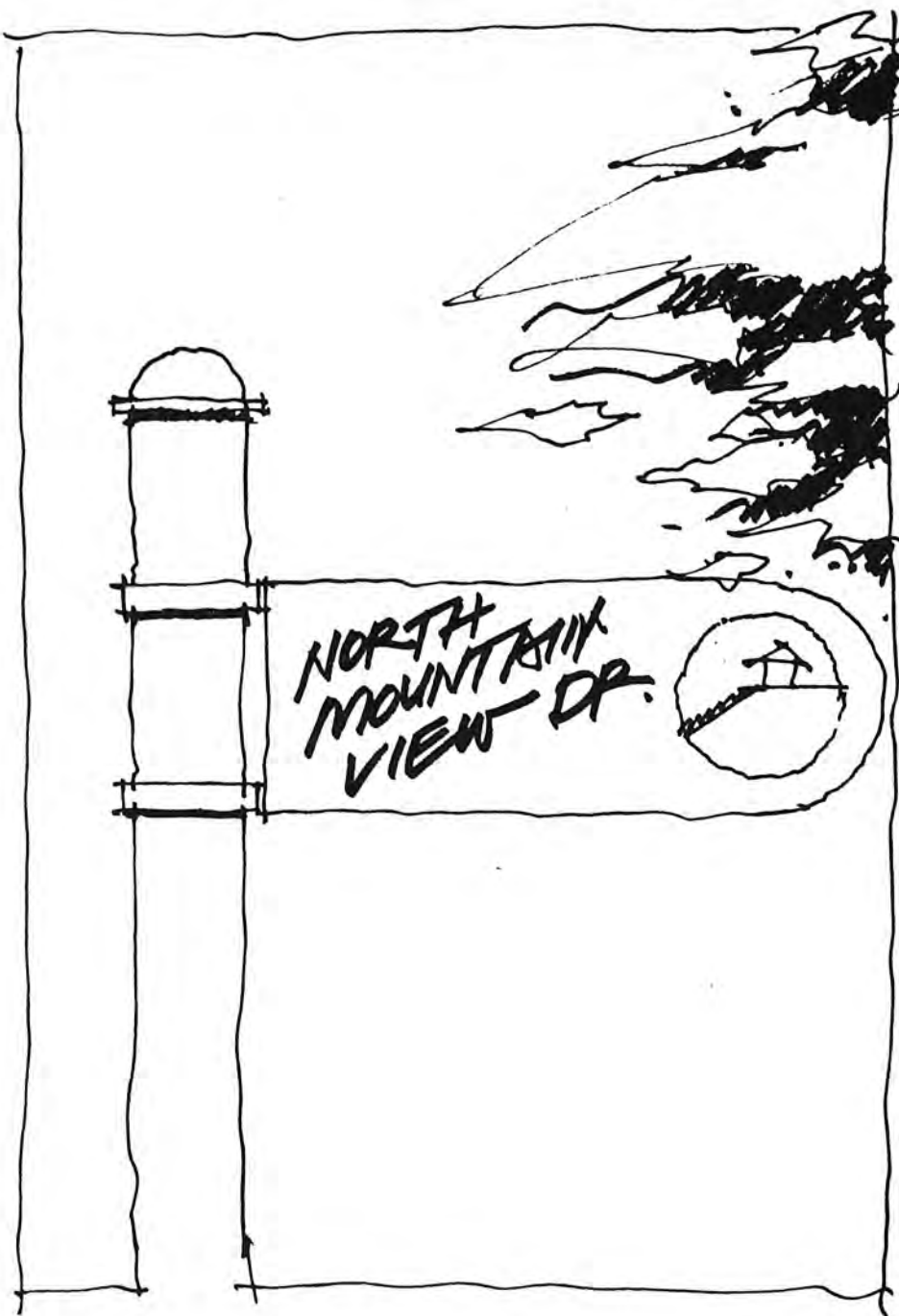


AT STREET CORNERS

STREETSCAPE: LIGHTING



STREETSCAPE : NAMES AND NUMBERS



FRONT YARDS: WALLS, FENCES, HEDGES

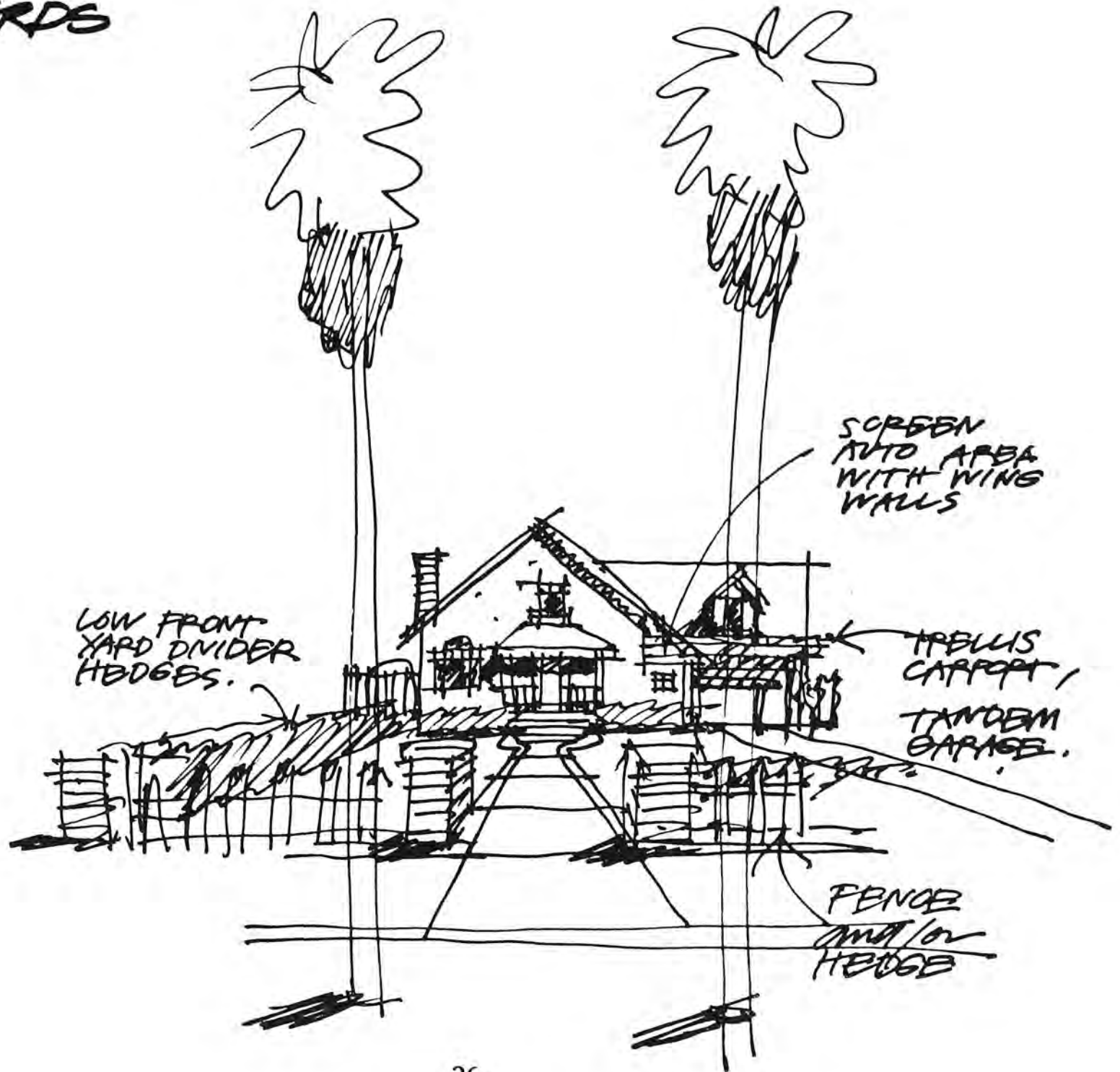
CONTINUE EDGE TREATMENT AT CORNER LOTS - because it maintains sense of private front yard.

HIGHER WALL OR HEDGE WHEN OUT OF PUBLIC VIEW

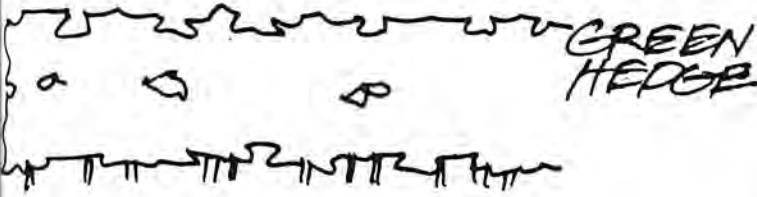
MAINTAIN LOW (3') WALL HEIGHT WITHIN FRONT YARD AREA - because of surveillance... neighbors can maintain view of house when residents are out.

MAINTAIN FENCE WALL HEIGHT AND ALIGNMENT WHEN POSSIBLE - for sense of street edge continuity.

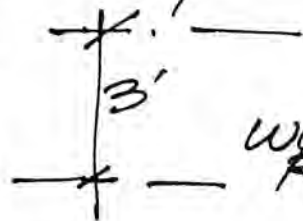
FRONT YARDS



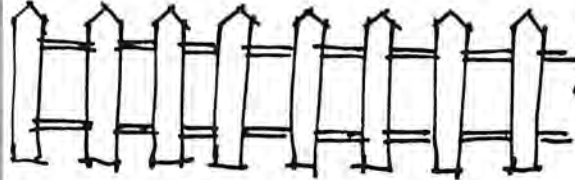
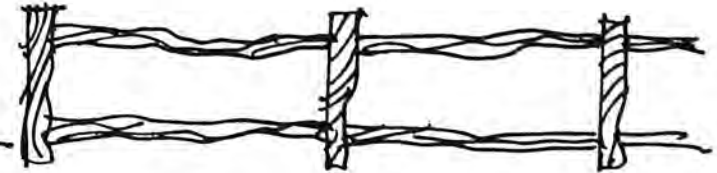
FRONT YARDS: EDGE TREATMENTS
 (MAINTAIN 3 FOOT HEIGHT)
 (THESE ARE ONLY A FEW....)



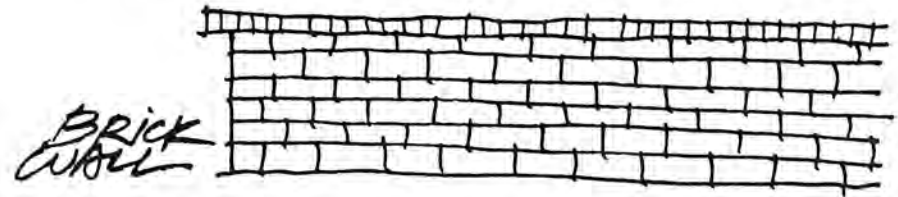
GREEN HEDGE



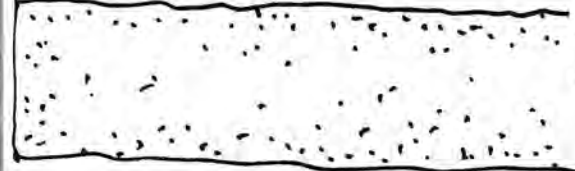
WOOD RAIL



PICKET FENCE

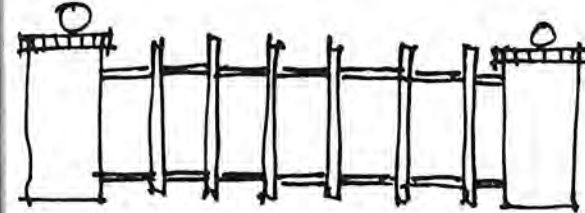


BRICK WALL

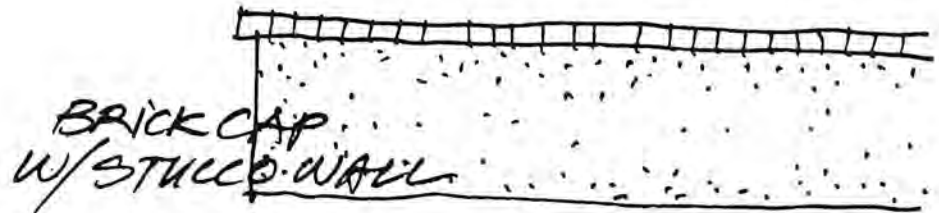


STUCCO WALL

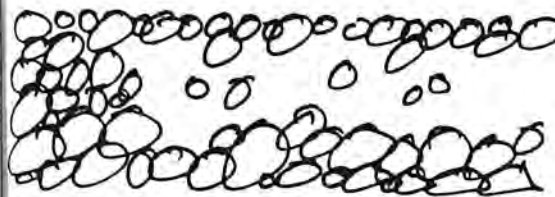
OR
 COMBINATIONS OF
 MATERIAL



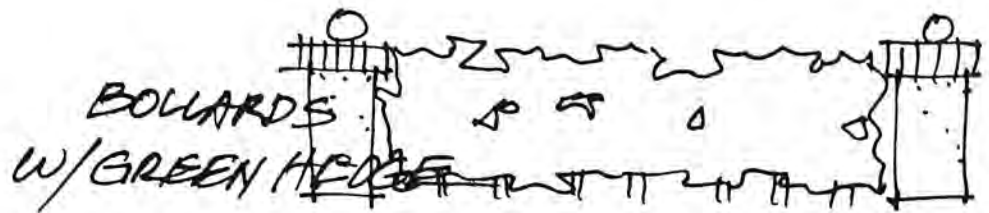
WROUGHT IRON



BRICK CAP
 W/STUCCO WALL

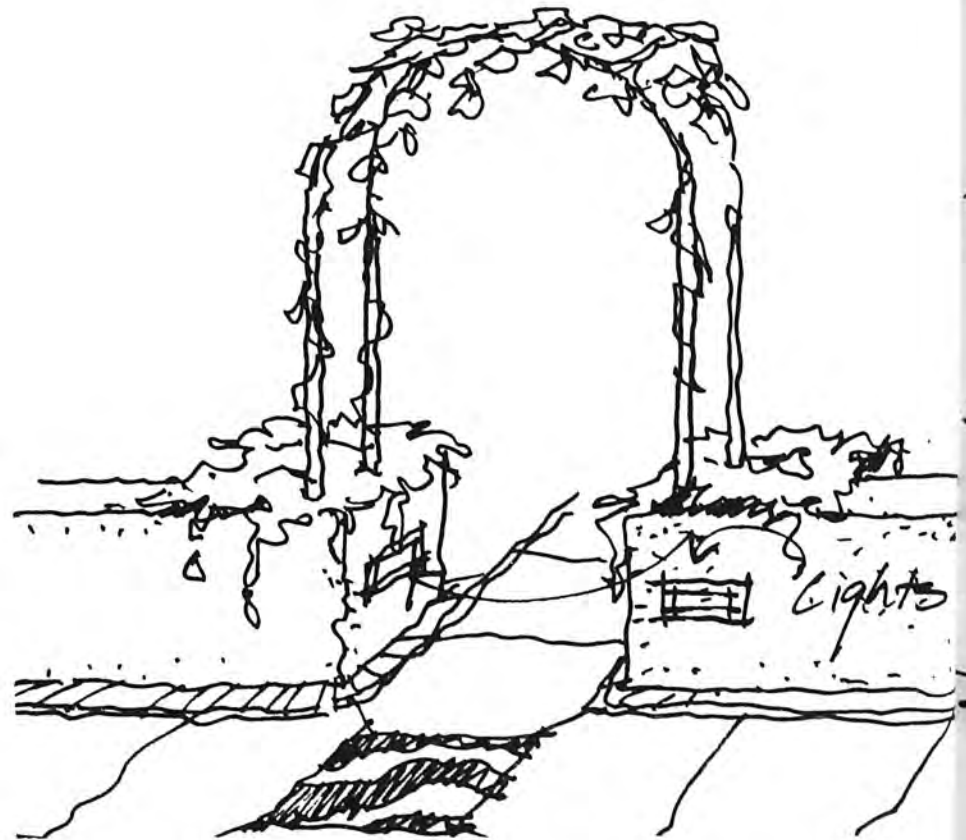
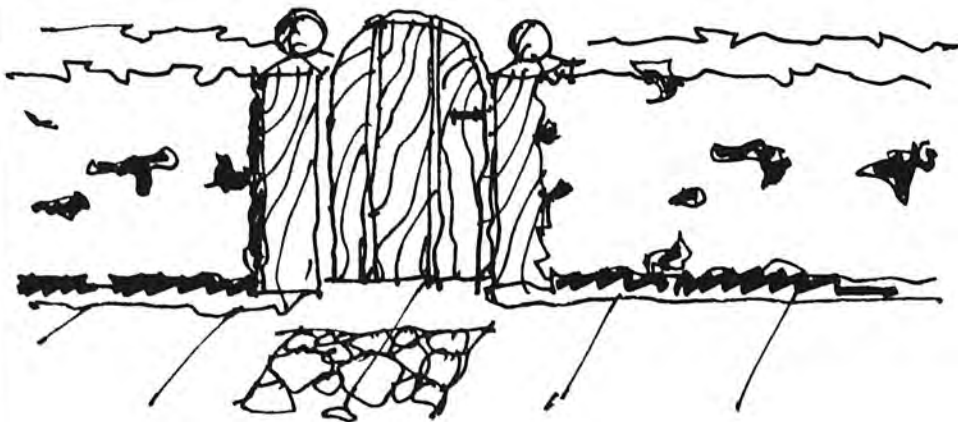
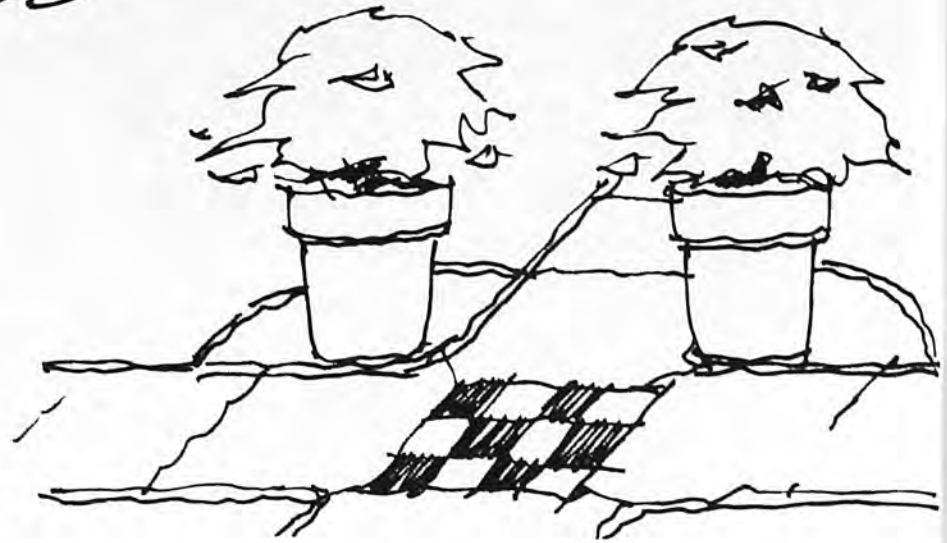
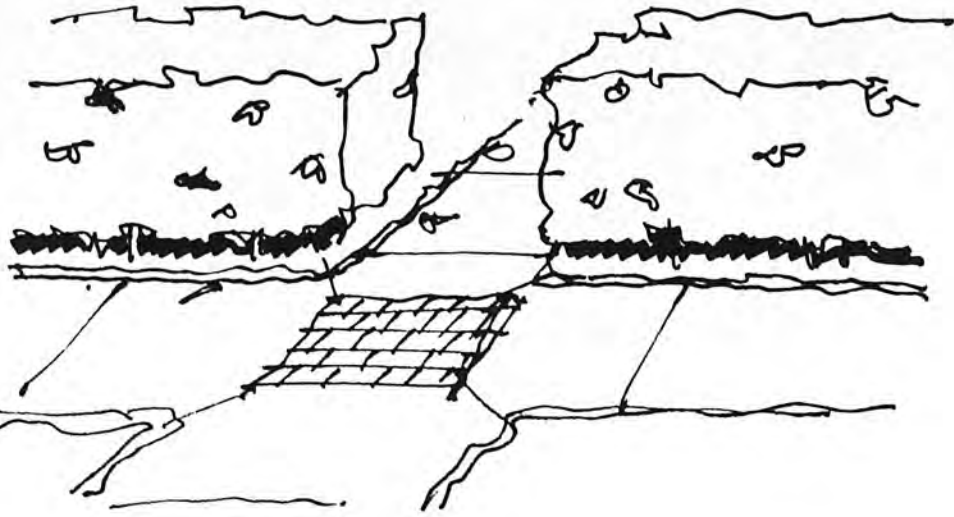


STONE



BOLLARDS
 W/GREEN HEDGE

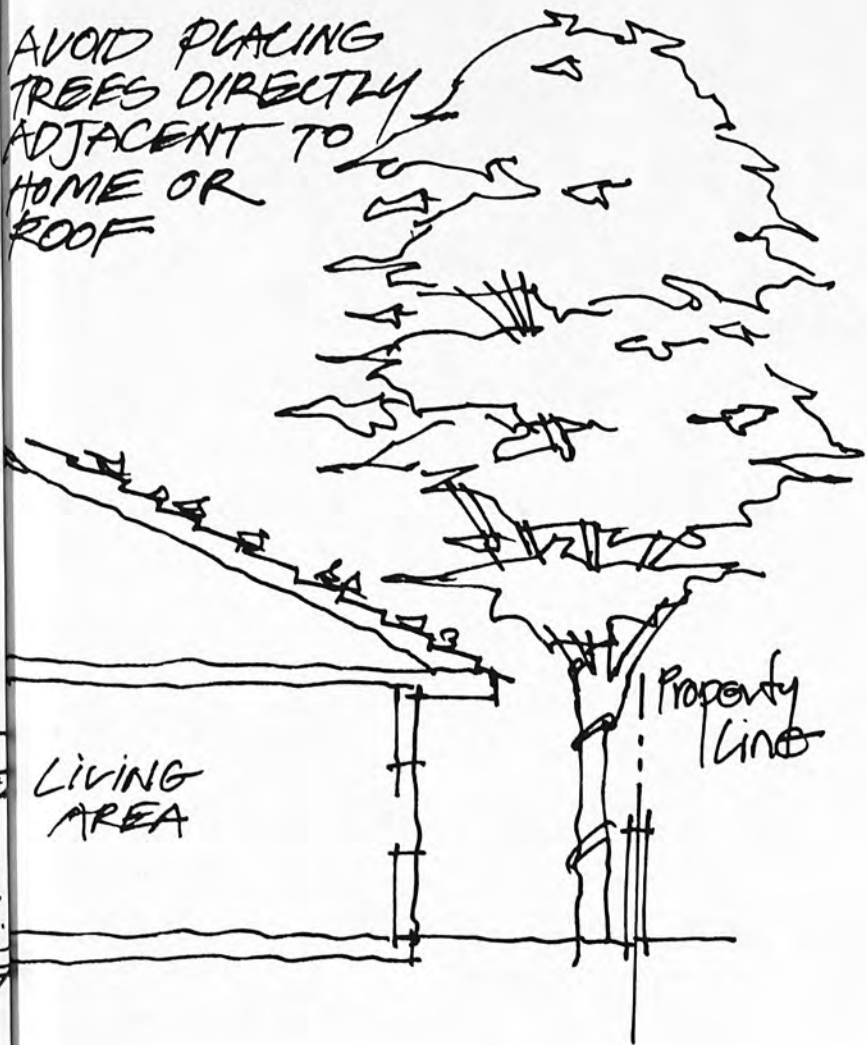
FRONT YARDS: GATES/ENTRIES



REAR AND SIDE YARDS:

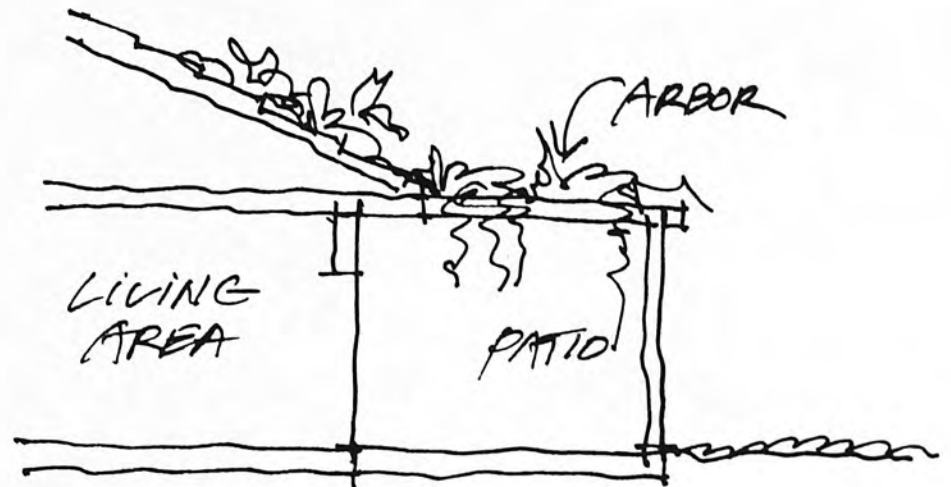
FIRE SUPPRESSION
FOR HOMES ALONG
CANYON EDGE

AVOID PLACING
TREES DIRECTLY
ADJACENT TO
HOME OR
ROOF

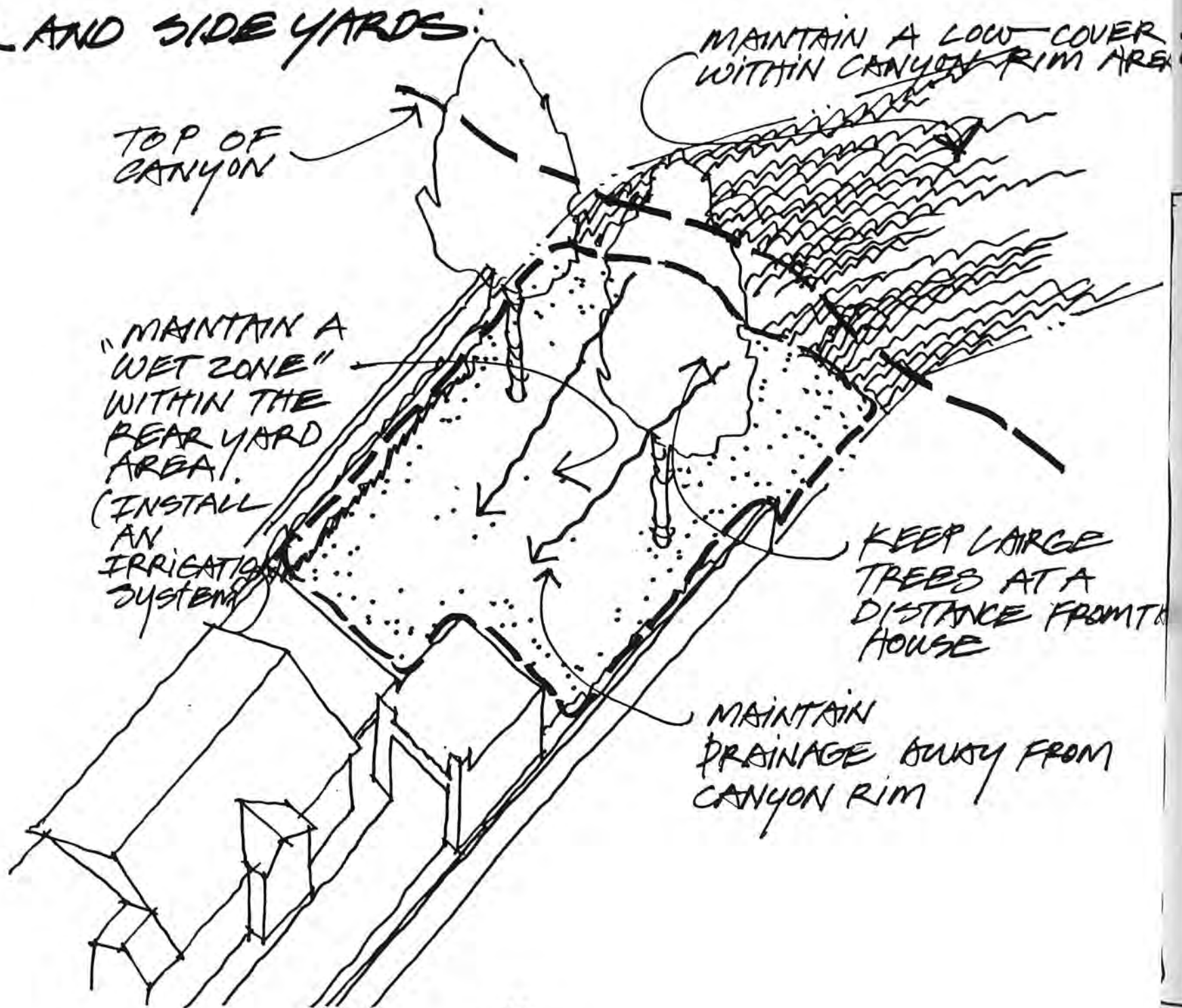


AVOID ALLOWING
VINES TO CLIMB
ONTO ROOF...

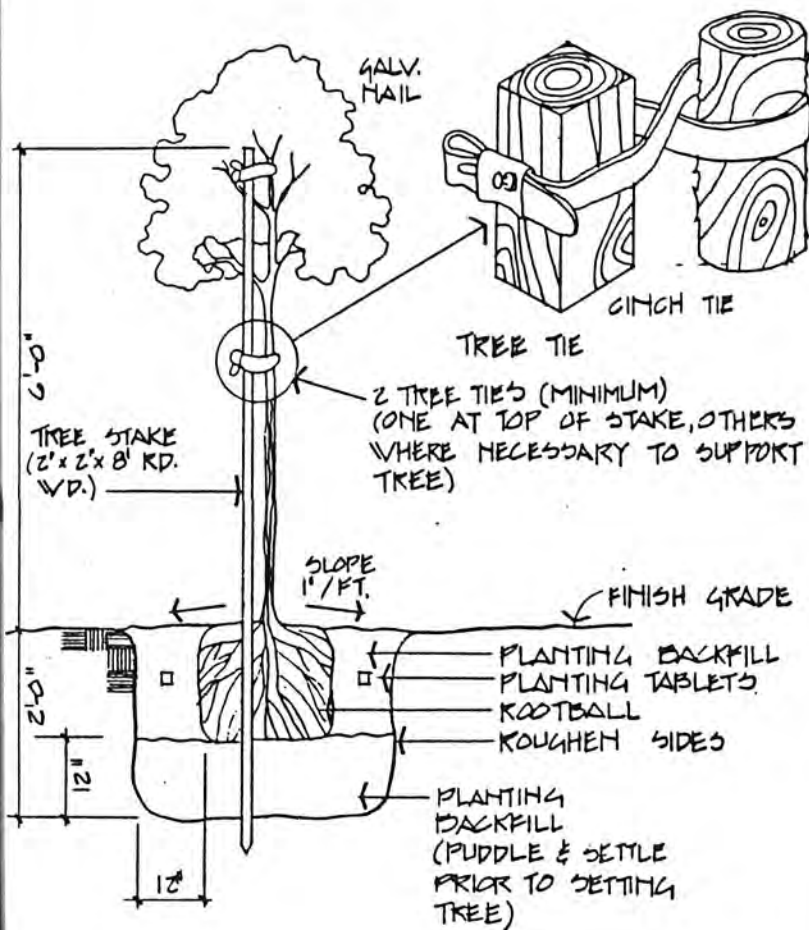
DRIED LEAVES FROM
PLANTS PRESENT FIRE
PROBLEMS.



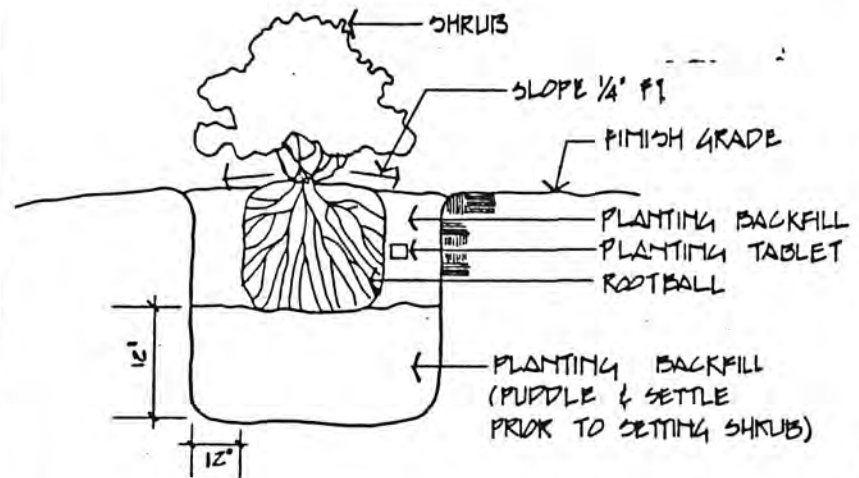
REAR AND SIDE YARDS:



PLANTING DETAILS



CONTAINER SIZE TREES (15 gal.)

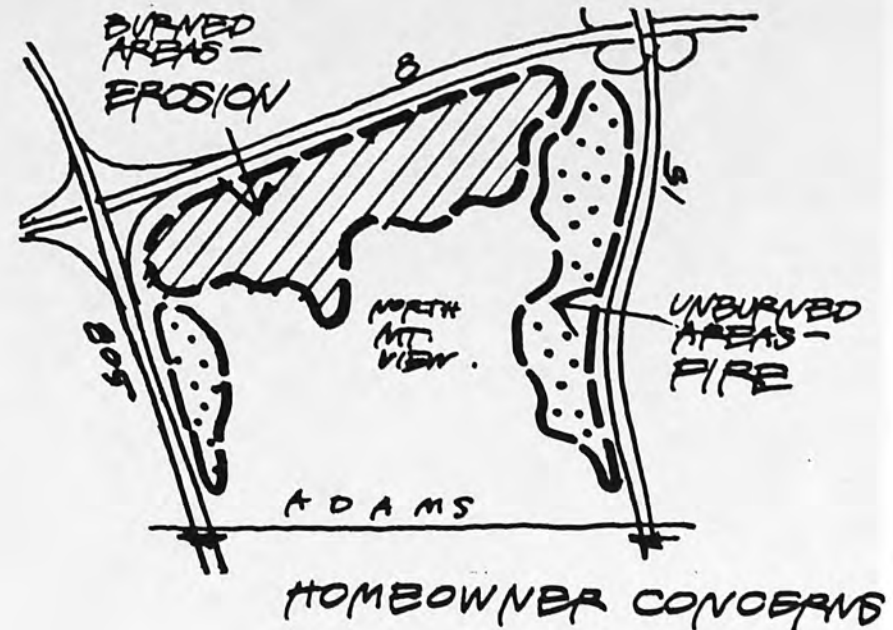


SHRUBS (1-5 gal.)

THE CANYONS EROSION CONTROL AND FIRE CONTROL

Normal Heights homeowners face widely varied problems at present in dealing with yards and canyon slopes. Those in or near burned areas are most concerned about potential erosion next winter while those in unburned areas are concerned about still present fire threat. The City is in the process of writing new and more thorough recommendations for canyon maintenance, but in the meantime, the following information is a guideline for a course of action.

There is no single correct "solution" to either erosion or fire threat in canyon areas. Use common sense to minimize the threat as much as you can and cooperate with each other and city agencies for maximum benefit. The San Diego Fire Department has trained personnel who will assist you and your neighbors with inspections of your property concerning fire safety (Phone 236-6495). Sources of other information are listed at the end of this section. See the architecture section for recommendations concerning structures and building materials.

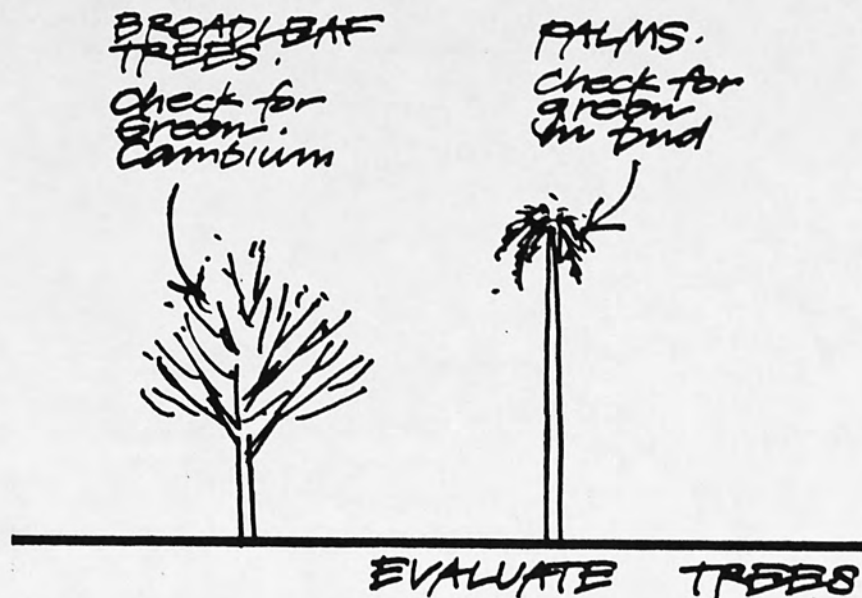


IMPLEMENTATION PLAN

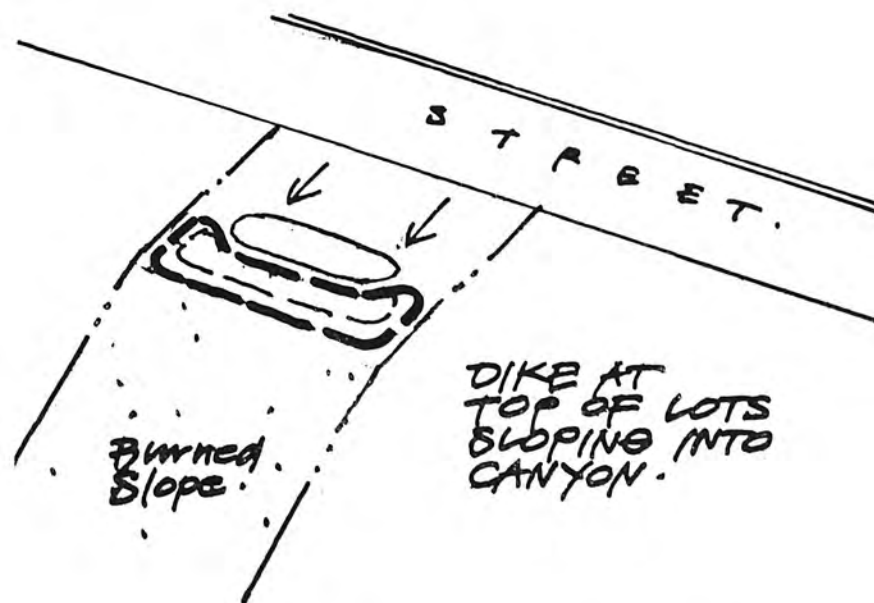
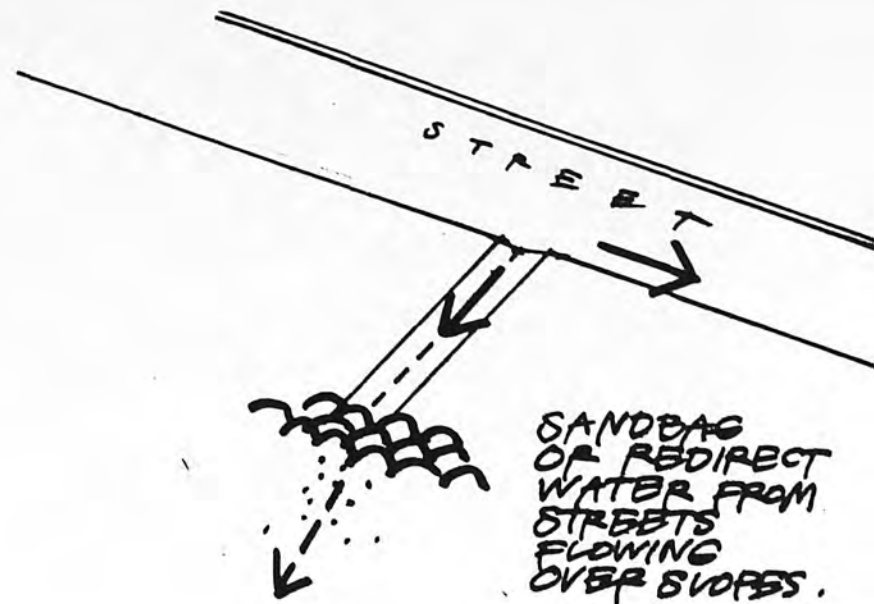
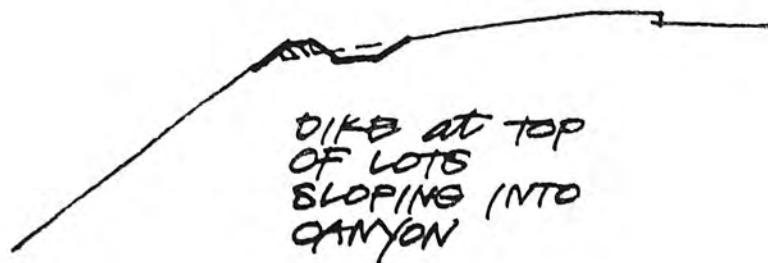
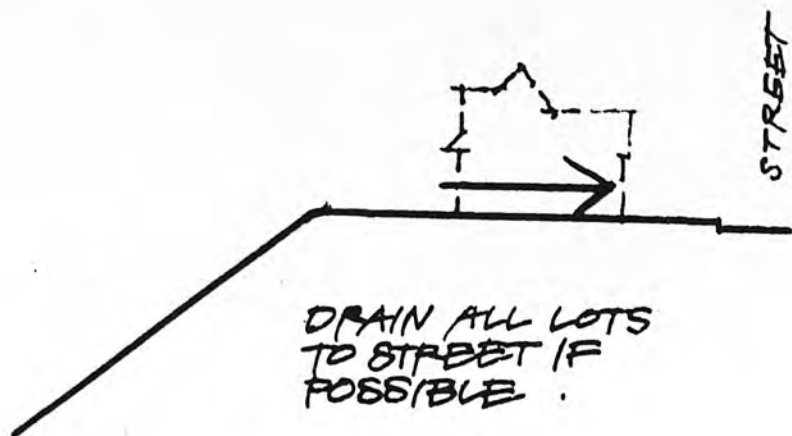
1. Burned Areas

Short Term

- A. Determine the status of the seedbed in the burned areas and seed only if necessary.
- B. Evaluate status of burned trees, remove dead or hazardous ones.
- C. Do not clear or disturb burned shrub cover on steep slopes. Let nature establish new winter groundcover before "cleaning up slopes".



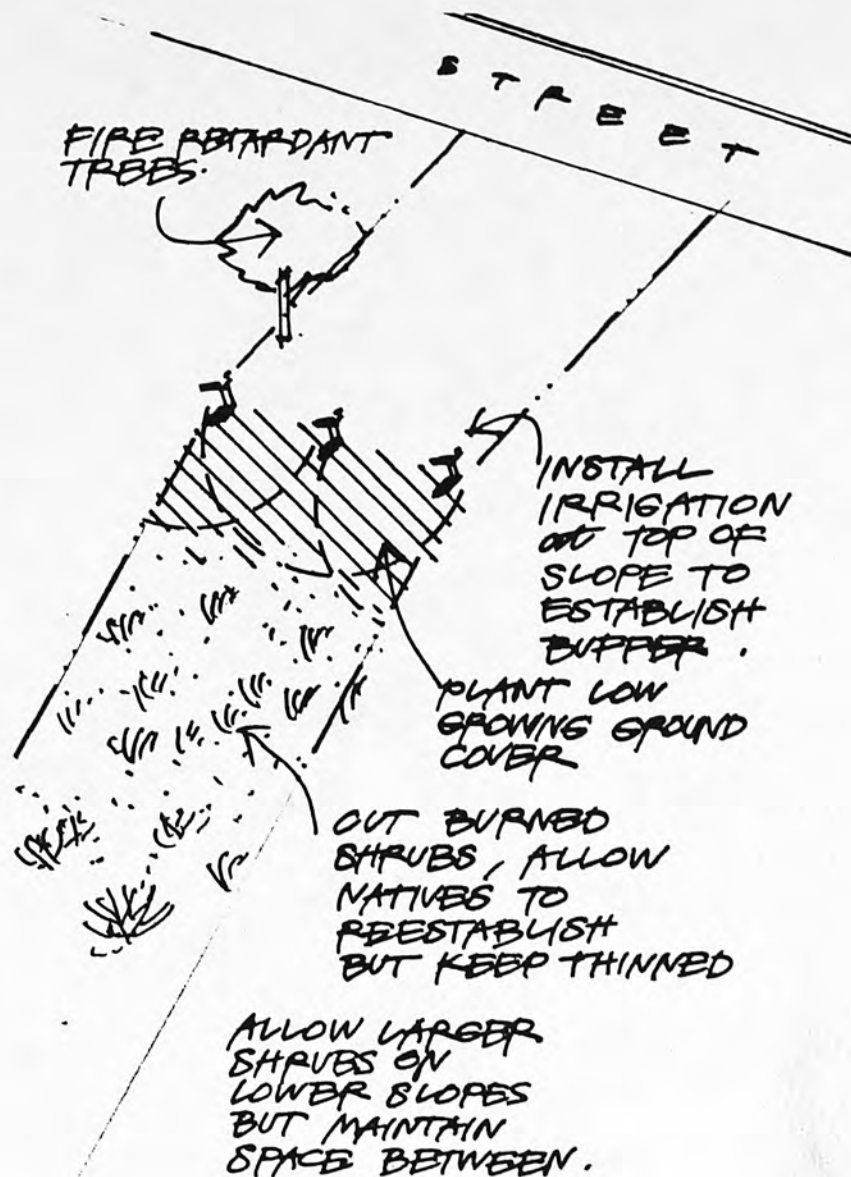
- D. Treat potential surface erosion problems at tops of slopes and in swales. Direct all yard and street runoff away from slopes.



SURFACE EROSION

Mid Term

- A. Install irrigation system at top of slope to established buffer.
- B. Cut burned shrubs from slopes leaving stumps intact and charcoal on slopes.
- C. Plant low growing drought tolerant, fire retardant plants at top of slope. (See plant list).
- D. Begin thinning woody plant material on lower parts of slope.
- E. Plant fire retardant or resistant trees and plants in yard area.



MID TERM

BURNED AREAS.

2. Unburned Areas

Short Term

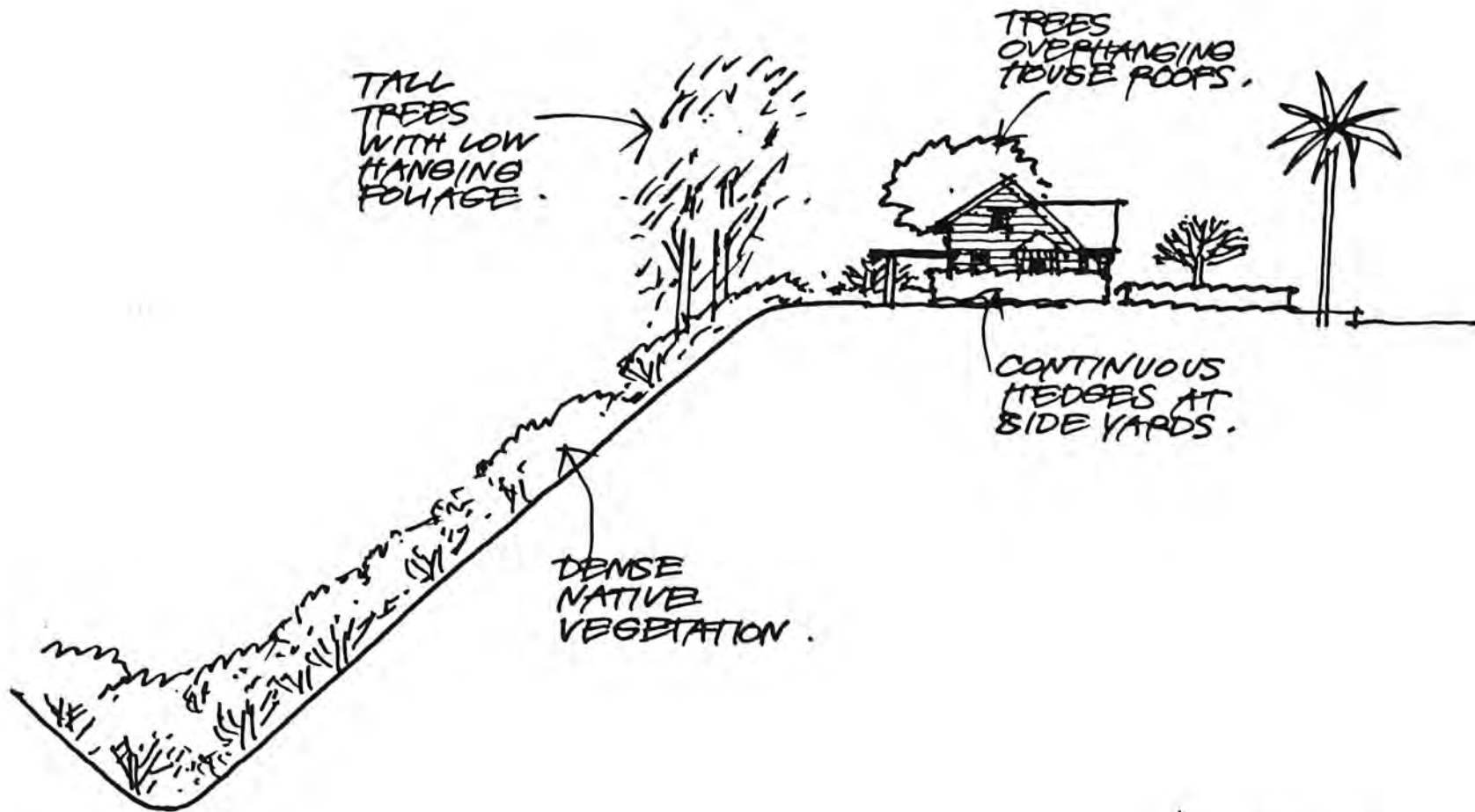
- A. Thin out existing woody or dry vegetation.
 - Raise tree branch height - lower shrubs underneath.
 - Remove branches near structures.
 - Thin out shrubs on slopes - remove near trees.
 - Remove highly flammable plants.
- B. Install irrigation at top of slope to establish buffer.
- C. Plant low growing drought tolerant fire retardant plants at top of slope. (See plant list.)

Mid Term

- A. Extend buffer and continue thinning.

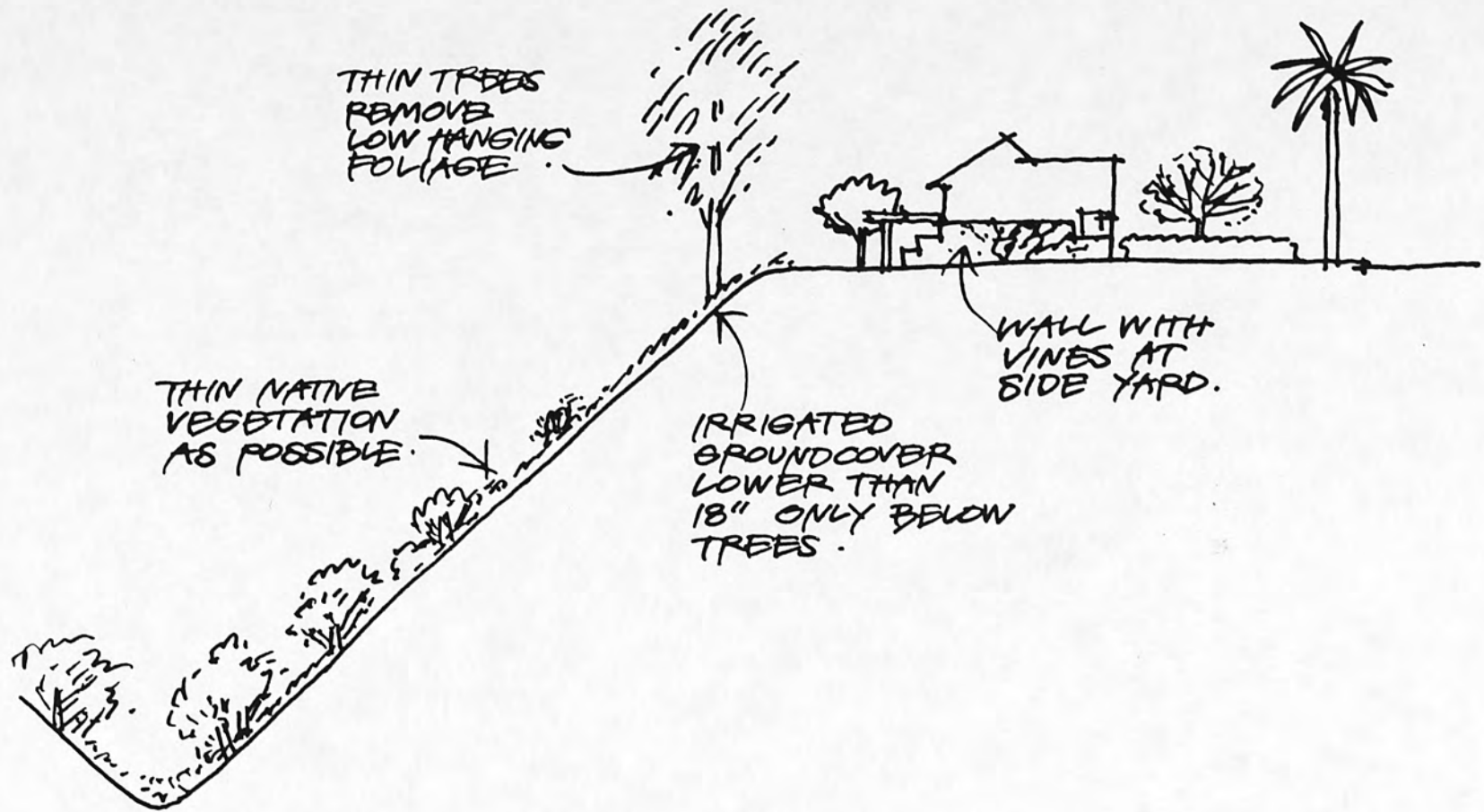
Long Term

- A. Irrigate top of slope buffer and keep below 24" in height
- B. Continually thin and clear slopes of dry plant material and debris.
- C. Maintain and control vegetation near house.



EXISTING
CONDITIONS

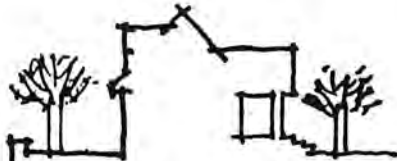
UNBURNED AREAS



SUGGESTED
IMPROVEMENTS .

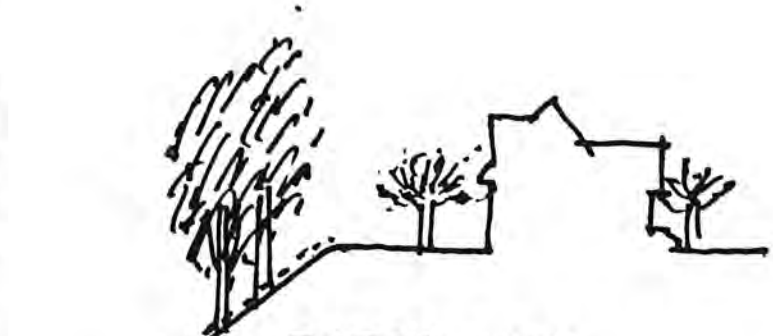
UNBURNED AREAS

MAX.
HT. 10'



USE WALL /
NOT DECK

CANTILEVERED
PATIO



EXTEND LOW
GROUND COVER
FURTHER WHERE
TREES OCCUR.

TREES ON
SLOPE.



NO TREES
OR RATED
FIRE WALLS.

STEPPED
HOUSE.

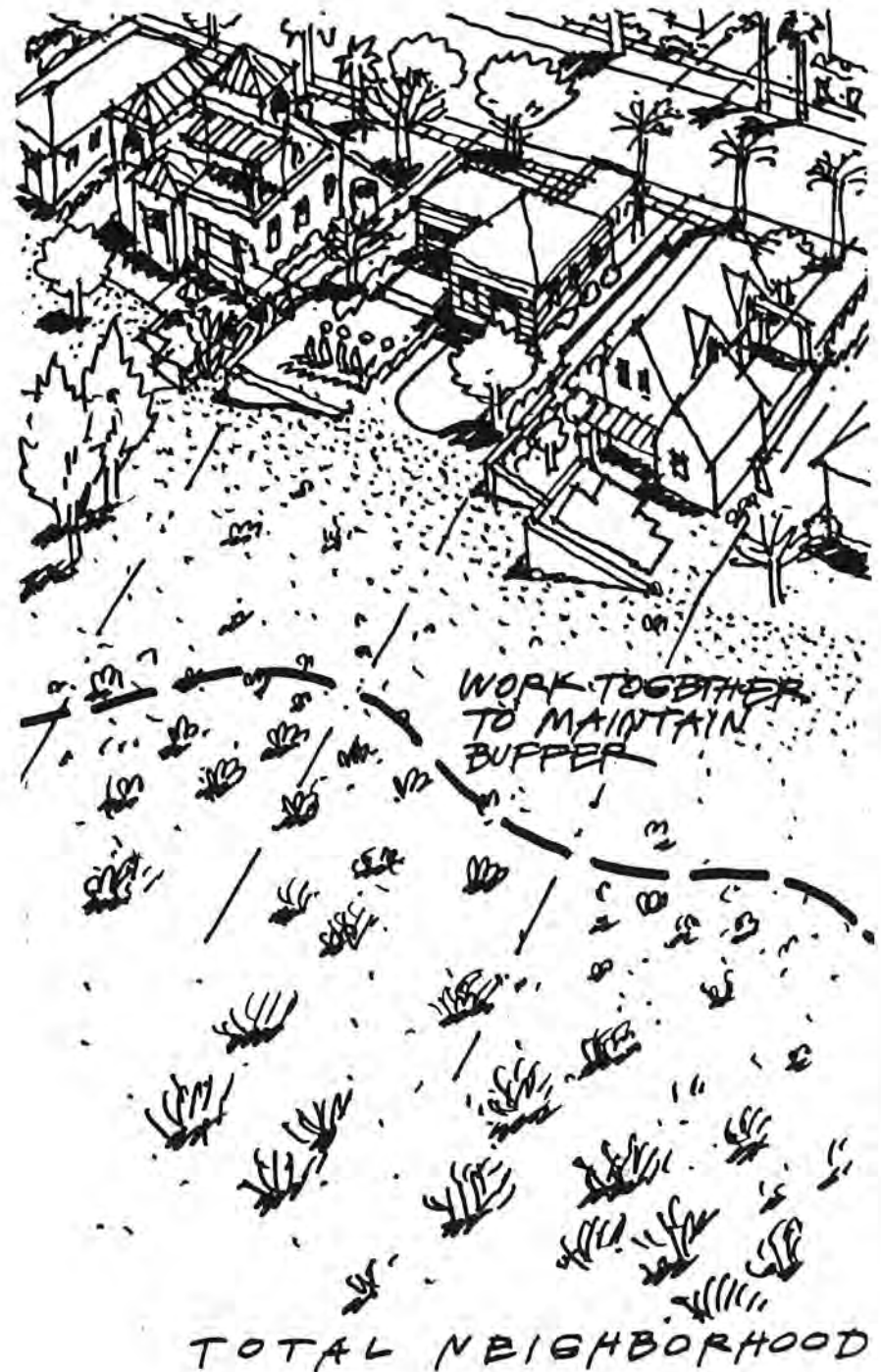


SHRUBS WIDELY
SPACED IN
IRRIGATED AREAS
NO TREES.

SHRUBS
ON SLOPE

Most of the work must be undertaken by property owners since little public land is involved. The matter of assistance and/or enforcement to achieve recommendations will be addressed by City Council.

1. Take care of your own property as possible.
2. Normal Heights Community Association may initiate volunteer canyon maintenance projects.
3. City may assess fees for maintenance.
4. City may provide weed abatement notices and backcharge for clearing and maintenance.



SLOPE ZONES AND PLANT LISTS

The most effective control can be achieved if everyone works together, since most of Normal Heights' canyons are divided into private lots. The following map shows a recommendation for the treatment of canyon properties as four different zones ranging from "Native" to "Domestic". The map shows approximate locations for the zones; they are then described, and plants listed for each.

At the July 12th planning meeting, most residents present expressed an interest in maintaining the "Natural" appearance of the canyons. This confirms objectives previously identified in the Mid City Plan. Zones and plant lists are directed toward achieving that goal.

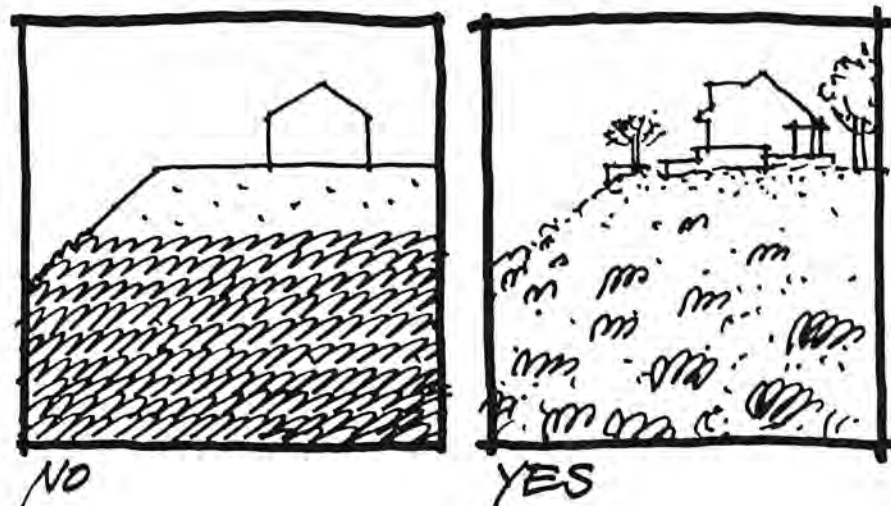
Flexibility in softening the edges between zones and in the use of plant material will also produce a more "natural" appearance. The description of the zones are as follows:

Zone A Native Landscape

Selectively remove any highly flammable plant species, including large shrubby plants and dense groupings. Follow-up removal of high vegetation concentrations should be done every three-to-five years.

Zone B Buffer

Reduce the volume of vegetation and replace it with low growing, slow burning plant species. These should be selected native and introduced plants which offer some natural character. Remove invasive grasses and plants that become too large or crowded together. Slopes over 30% are too steep to hold the weight and shallow roots of iceplant: refer to list of alternatives.



NATURAL APPEARANCE

Zone C Flat Yard Landscape Away
From Structures

Low ground cover which receives regular irrigation will be best suited to stop any ground fire. The low foliage level, in combination with high moisture content, establishes a optimum fire protection edge. Nothing should be over 18" high and a regular program of watering and weed control is necessary.

Zone D Domestic

The planting which is located around buildings should be carefully placed and consist of species which do not readily catch fire. Limit the amount of tall trees and thin foliage and dead branches from large plants next to houses.

Plants By Zones

Zone A Native Landscape

Archtophylos species	Manzanita
Ceanothus species	Wild Lilac
Comarostaphylis diversifolia	Summer Holly
Heteromeles arbutifolia	Toyon
Rhamnus species	Buckthorn
Rhus species	Sumac
Quercus species	Oak

Zone B Buffer

Low Fuel Volume Natives:

Eriophyllum species	Yarrow
Escholzia californica	CA Poppy
Iva hayesiana	Iva
Lupinus species	Annual Lupinus
Lotus scoparius	Deerwood
Mimulus species	Monkey Flower
Penstemon species	Penstemon
Salvia columbariae	Chia
Salvia sonomensis	Creeping Sage
Tichostema lanatum	Woody Bluecurls
Zauschneria species	CA Fushsia

Low Fuel Volume Introduced Plants:

Artemisia caucasica	
Atriplex glauca	Saltbush
Atriplex semibaccata	Creeping Saltbush
Cistus crispus	Rockrose
Cistus salvifolius	Sageleaf Rockrose
Santolina chamaecyparissus	Lavender Cotton
Santolina virens	Green Santolina

Zone C Flat Yard Away From
Structures

Low Growing, High Fire Retarding:

Carpobrotus species	Sea Fig
Delosperma 'Alba'	White Trailing Ice Plant
Drosanthemum floribundum	Rosea Ice Plant
Lampranthus spectabilis	Trailing Ice Plant
Malephora crocea	Croceum Ice Plant

Low Growing, Moderate Fire Retarding Plants:

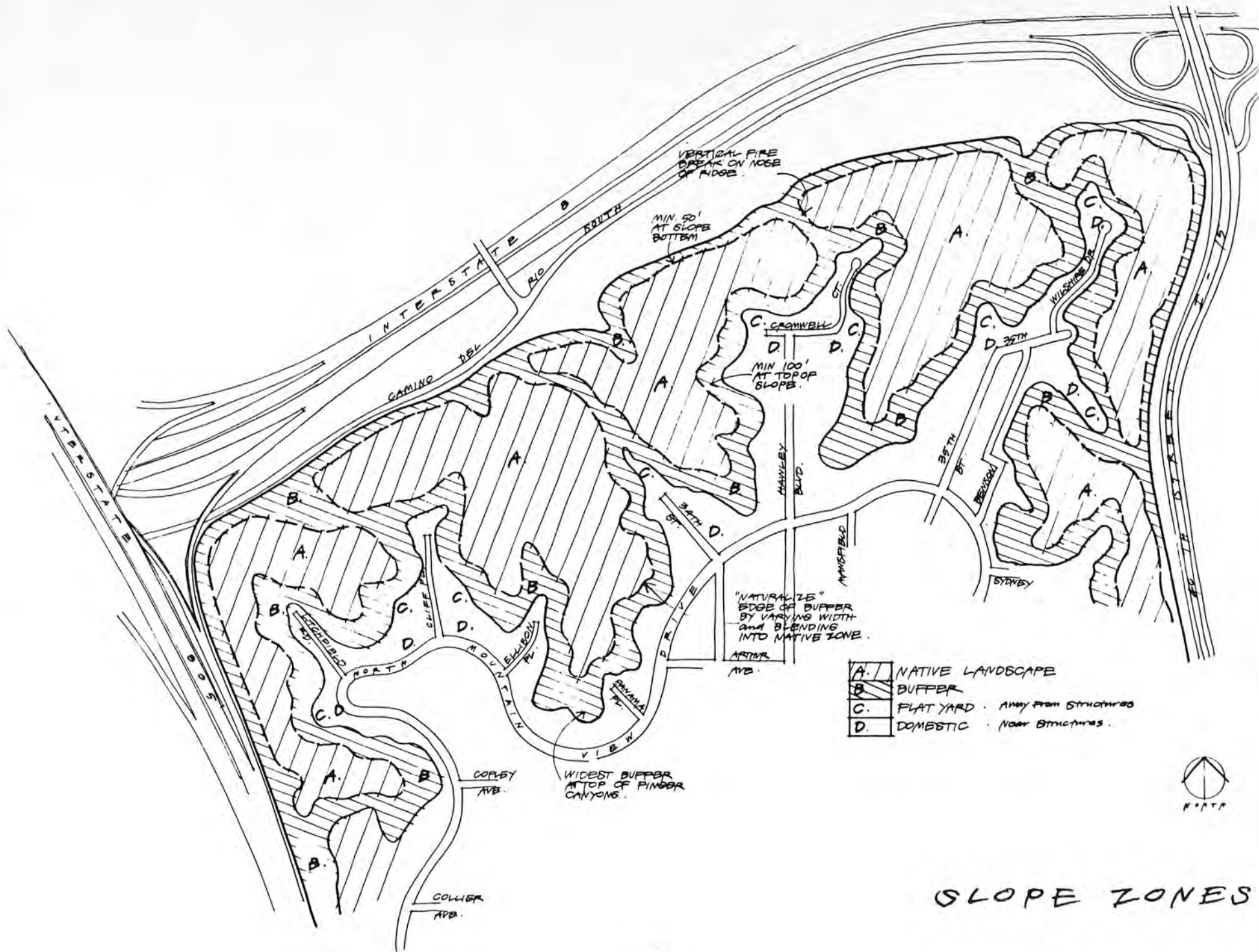
Arctotheca calendula	Cape Weed
Baccharis pilularis	'Twin Peaks' Coyote Bush
Coprosma kirkii	Creeping Coprosma
Gazania rigens leucolaena	Trailing Gazania
Lippia canescens	Lippia
Myoporum parvifolium	Myoporum
Osteospermum fruticosum	African Daisy
Santolina species	Lavender Cotton
Trifolium fragiferum	'O'Connor's' Legume
Vinca species	Periwinkle

Zone D Domestic:

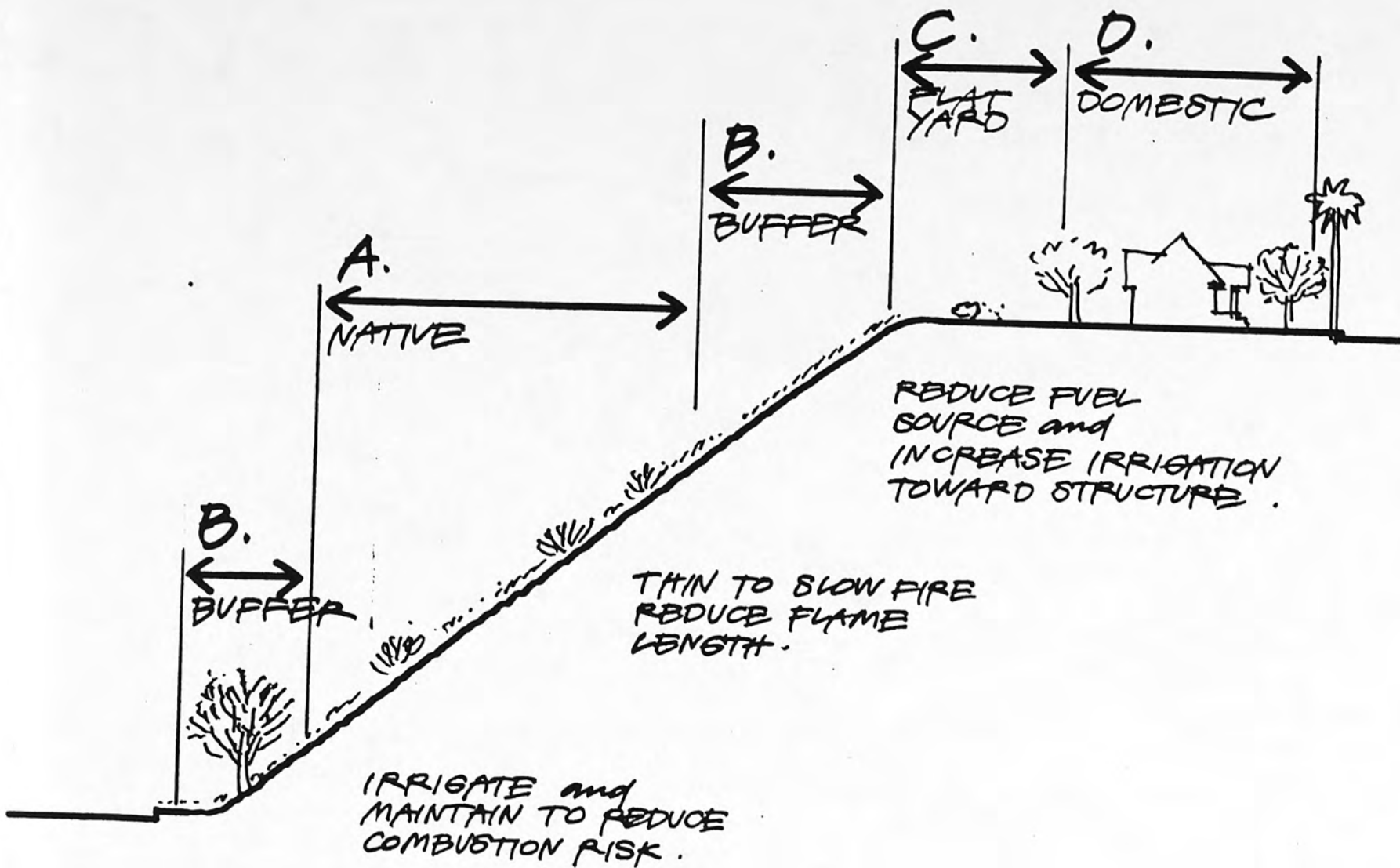
Arbutus unedo	Strawberry Tree
Arctostaphylos species	Manzanita
Cercis occidentalis	Western Redbud
Convolvulus cneorum	Bush Morning Glory
Feijoa sellowiana	Pineapple Guava
Metrosideros excelsus	New Zealand Christmas Tree
Myoporum species	Myoporum
Nerium oleander	Oleander
Pittosporum species	Pittosporum
Prunus species	Evergreen Cherry
Punica granatum	Pomegranate
Pyracantha species	Pyracantha
Rhamnus alaternus	Italian Buckthorn
Ribes species	Currant, Gooseberry
Simmondsia chinensis	JoJoba
Tecomaria capensis	Cape Honey- suckle

Plants Undesirable

Acacia
Adenostoma
Artemisia California
Cedrus
Cupressus
Dodonaea
Eriogonum Fasciculatum
Juniperus
Pennisetum
Pinus
Salvia



SLOPE ZONES



CANYON LANDSCAPE ZONES

Erosion Checklist

1. Identify potential erosion areas such as water runoff into canyons.
2. Am I using plants that will prevent or increase erosion?
3. Is my lot drainage toward street and away from the canyon?
4. Am I avoiding use of plastic on slopes?
5. Am I avoiding use of iceplants on steep slope areas?

Fire Suppression Checklist

1. Identify area you responsible for maintaining?
2. Have I cleared away dry brush for at least 30' from my house?
3. Have I properly disposed of all dry brush and grass that I have cut down?
4. Have I limited the density of plants against the house, of tall plants and of highly combustible plants?
5. Have I watered to maintain plant moisture?
6. Is daily rubbish disposed of properly at my house?
7. Do I keep the canyons clear of clippings, dead branches and combustible debris?
8. Do I always have a long garden hose hooked up to a convenient hose bib to control flying sparks?

9. Do I keep wood & canvas lawn furniture that might easily be ignited by sparks a safe distance away from the house?
10. Do I keep matches and cigarette lighters out of the reach of children?
11. Did I help neighbors identify any fire hazards?

Fire Suppression Reference List

1. In case of fire call -911
2. San Diego Fire Department
1222 First Avenue
San Diego, CA 92101
Emergency 911
Business 236-6475
Community Education 236-7071
3. City wide coordination of canyon and open space fire control - City Manager's Office, Fred Morey, 236-7218.
4. For combustible litter on city property: City Litter Control Office 236-5656.
5. For problems with native vegetation & trees: City Open Space Maintenance 236-5544.
6. Brush Disposal at Miramar Land Fill
5180 Mercury Street
San Diego 277-0232

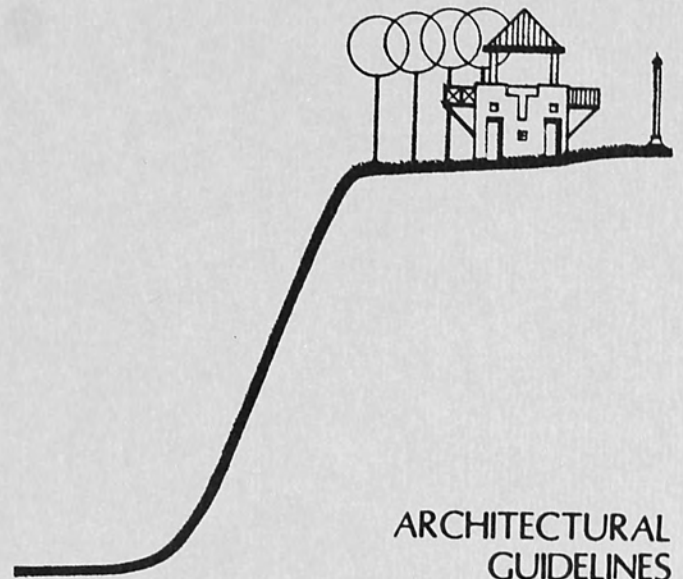
7. For a complete list of fire-resistant plants: County Farm Advisor, Agricultural Extension Service, University of California 565-5376.
8. For planting in burned areas: County Agricultural Commissioner, Building 3, 5555 Overland Avenue San Diego, CA 92123 565-5764.
9. For on-site inspections or fire safety questions: San Diego Fire Department Fire Prevention Bureau 236-6495.
10. For information concerning city wide Canyon Fire Control Task Third District Council Office - Jeff Marston 236-6633.
11. For Volunteer Services for Canyon Maintenance. Normal Heights Community Association Relief Committee - Ramona Konar, Chairman (Evenings only) 282-1161.

Other Reference Materials

Sunset New Western Garden Book
Sunset Magazine, Lanu Publishing Company,
Menlo Park, California

Trees and Shrubs for Dry California Landscapes
Bob Perry
Land Design Publishing
P.O. Box 857, San Dimas, CA 91773

A Homeowner's Guide to Fire and Watershed
Management at the Chaparral/Urban Interface
County of Los Angeles, California

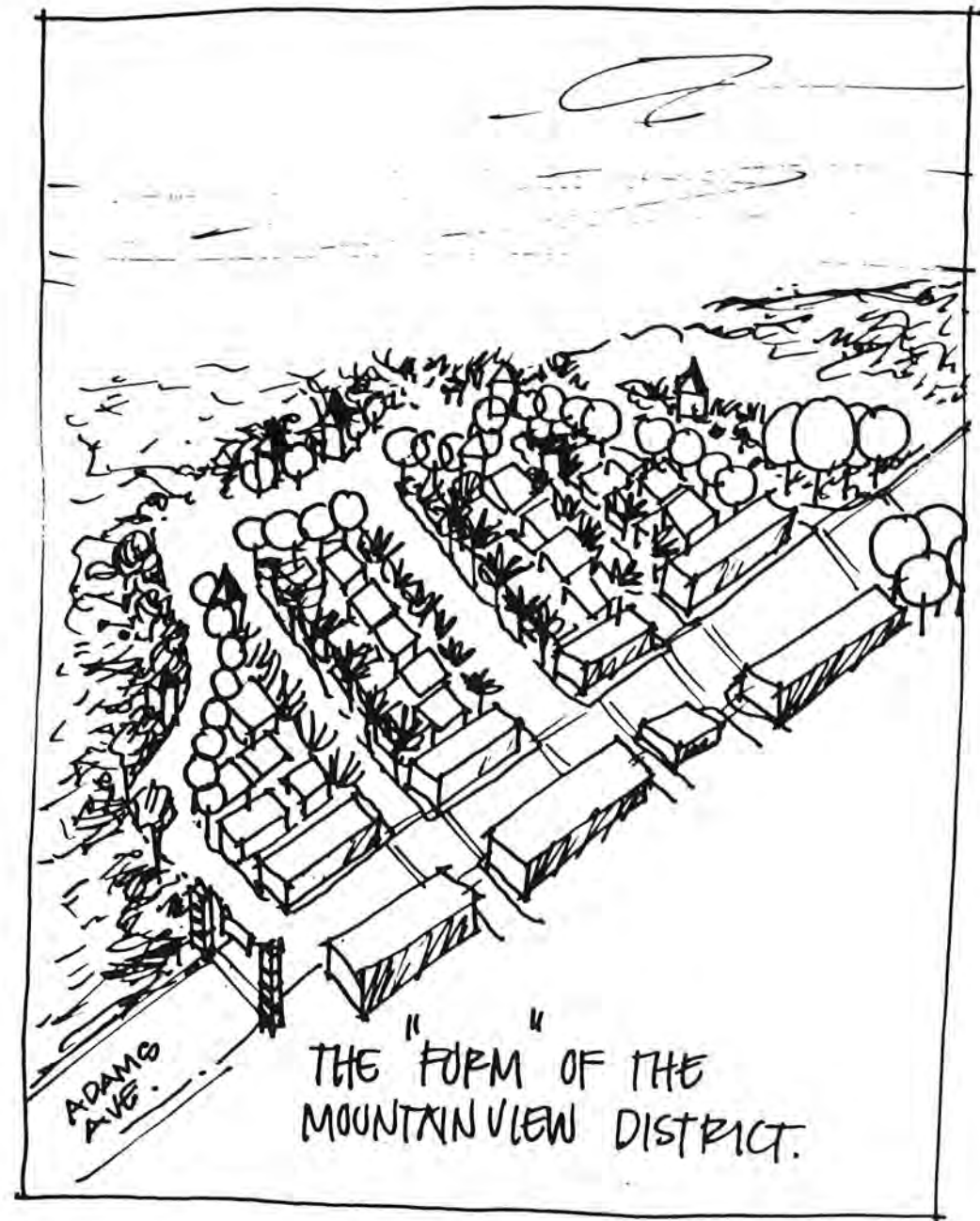


ARCHITECTURAL
GUIDELINES

INTRODUCTION

This section of the report is divided into three parts, namely: (1) urban design considerations, (2) architectural image and (3) architectural details and materials.

In developing a design methodology, particular emphasis was placed on the potential new "form of the neighborhood" within the Mountain View District (note: the Charrette Team coined the district name to properly identify it as a sub-area of Normal Heights which has evolved into a residential, and commercial center).

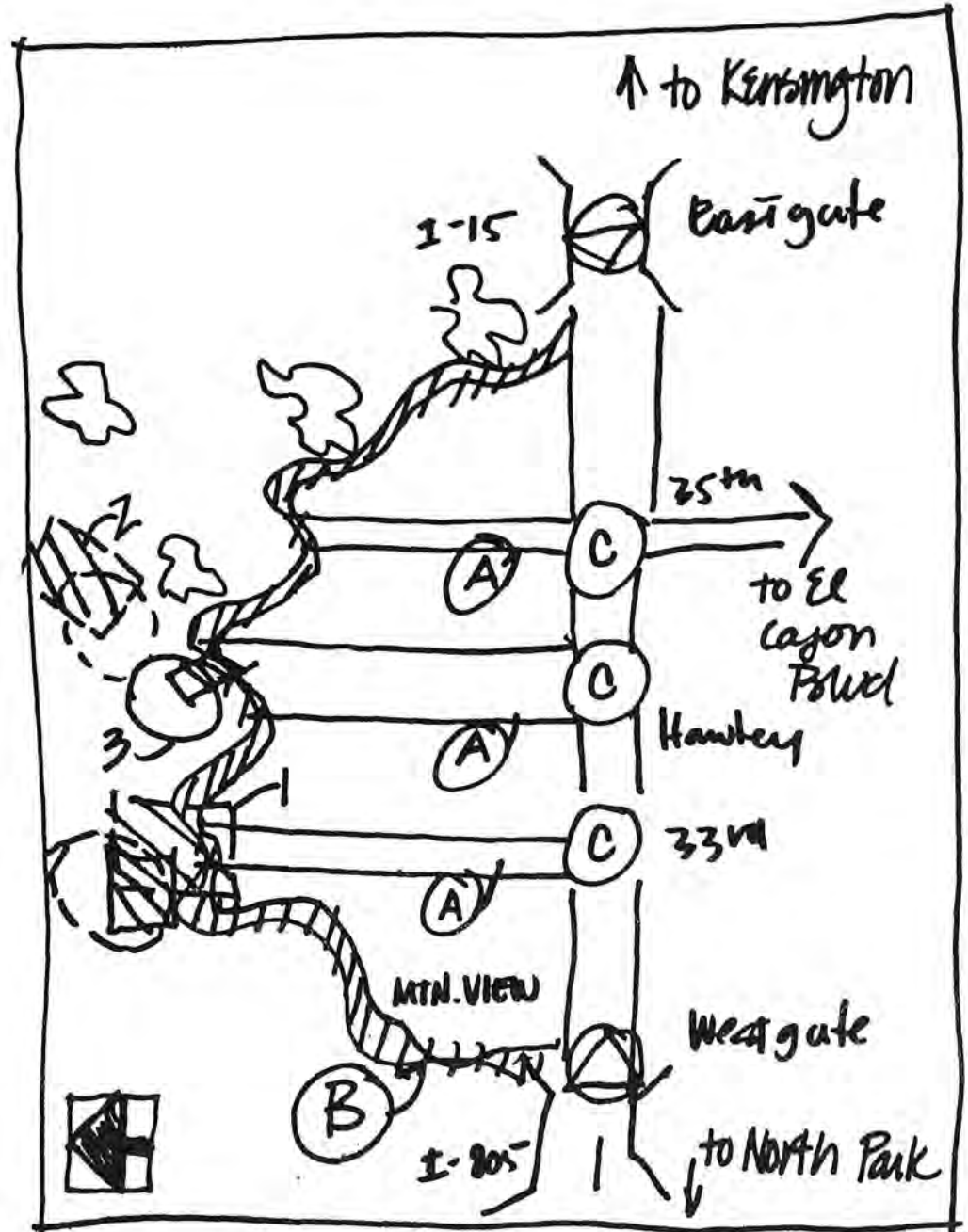


URBAN DESIGN CONSIDERATIONS

The proposed re-building of residences along the canyon rim provides for a unique opportunity to weave back together the urban fabric of a 50 year old neighborhood. At the same time, present day codes and regulations will not permit a recreation of the identical structures. Moreover, insurance premiums, construction costs, and increased house size will dictate new urban strategies.

Districts

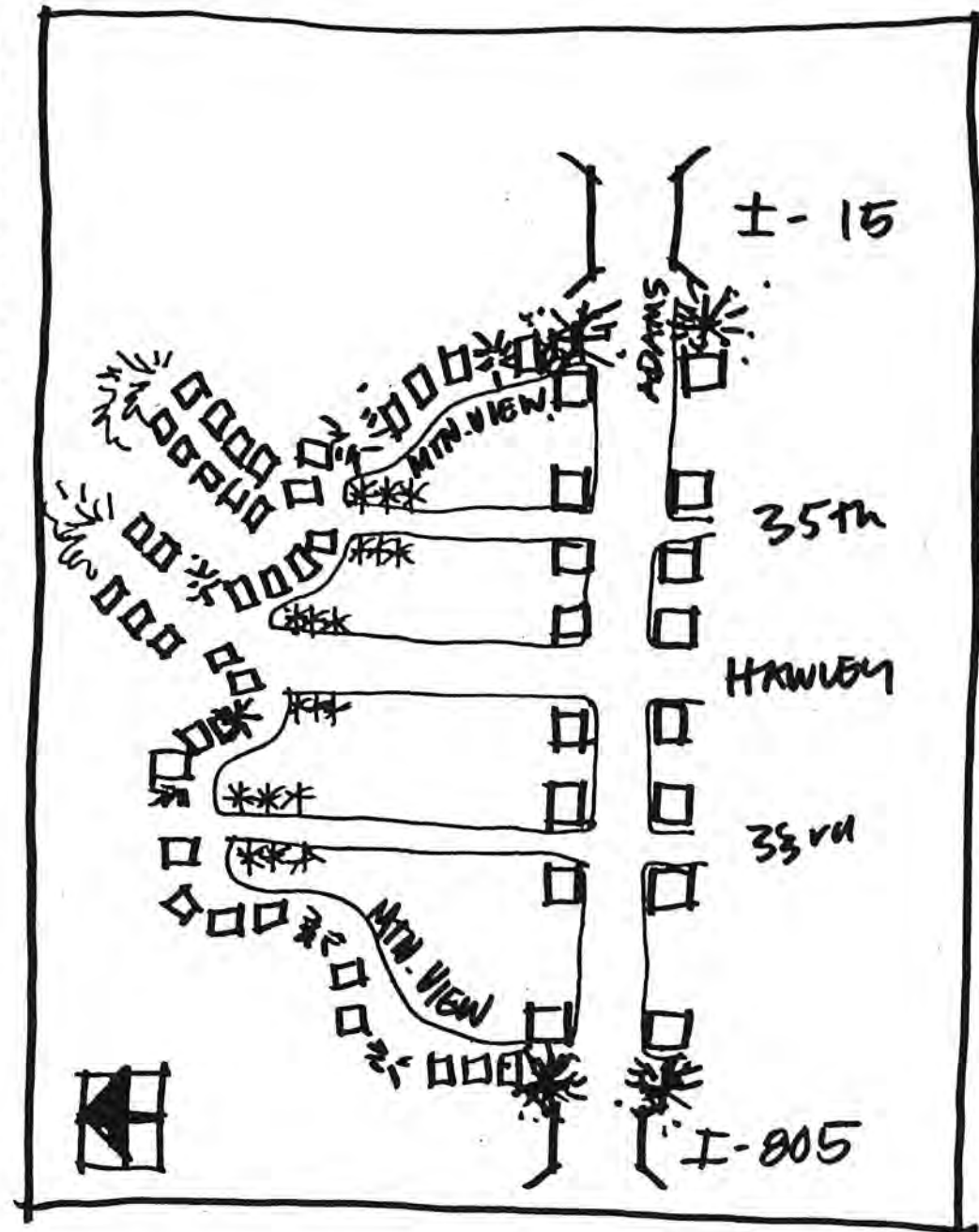
The Normal Heights neighborhood is composed of at least three areas: the Mountain View District, the Adams Avenue Business District, and the southern area between Adams Avenue and El Cajon Boulevard. Specific and unique features in Normal Heights include: large regular blocks (300'x700' with alleys); a single-linear business district with the opportunity for 3 major nodes; a single north-south street (35th Street) which connects to El Cajon Boulevard (its a major city street); and canyon oriented housing with especially deep lots. The Mountain View District is defined by Adams Avenue to the south and Mountain View Drive to the west, north and east. The district is also defined by the two overpasses, I-805 (westedge) and I-15 (eastedge).



Neighborhood

The destroyed portion of the Mountain View area has the potential upon its re-building to set a standard for the entire district. This can be achieved by identifying and enhancing the interconnections between the destroyed areas and the district. These locations would include: (1) 33rd Street and N. Mountain View Drive, (2) Hawley Boulevard at E. Mountain View Drive and (3) 35th Street and E. Mountain View Drive. Where these same streets intersect Mountain View Drive, they also intersect Adams Avenue -- thus gateways into the neighborhood.

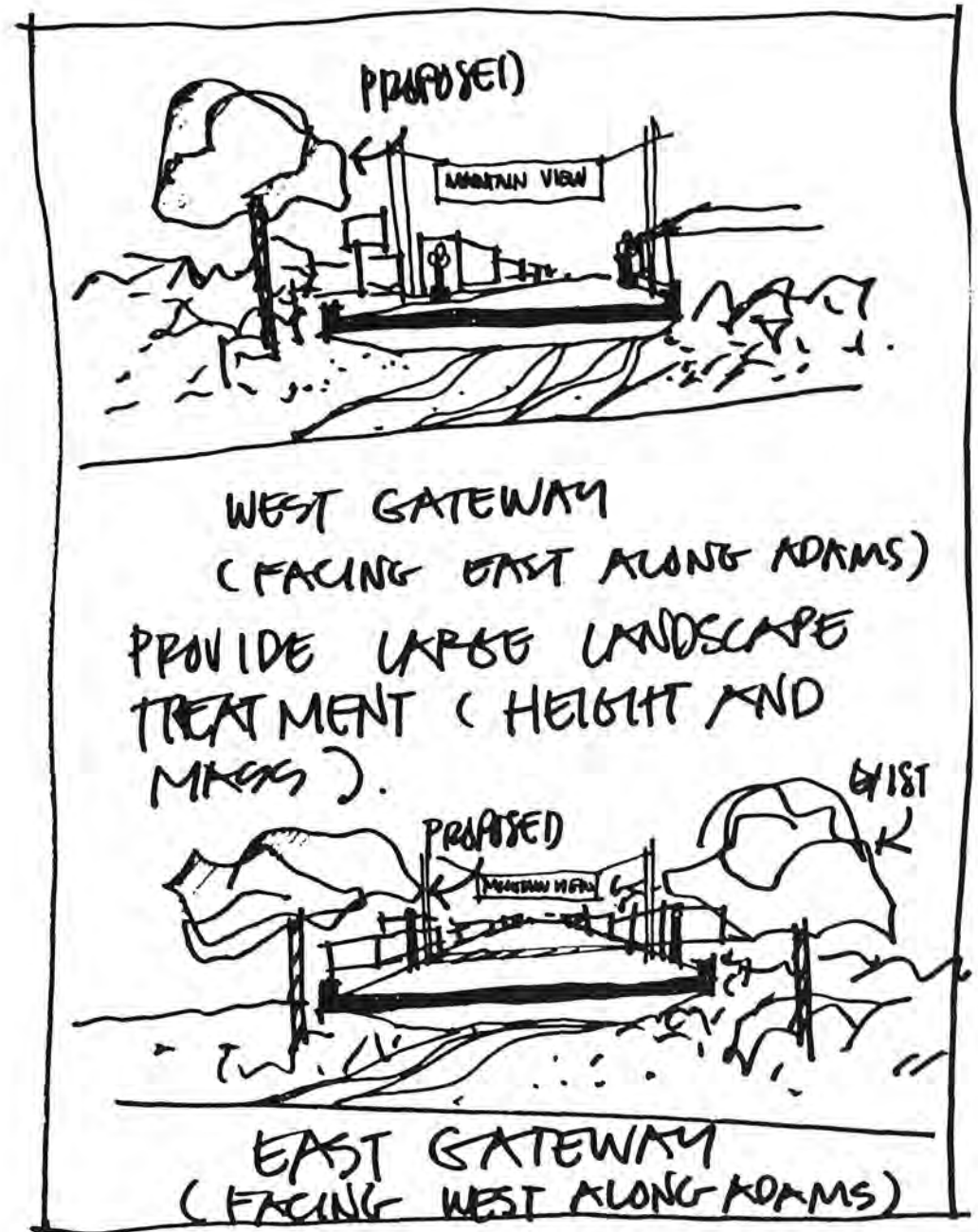
Within the reconstruction of the neighborhood there will be several locations for general open-space. This opportunity will uniquely define the neighborhood to its topography and with the understanding of climate and stylistic context a sensitive architecture should evolve.



Gateways

The opportunity exists for establishing two major gateways into the Mountain View District. It should be pointed out that the nature of gateways has historically been to denote a prominent transition from one domain to another. Thus, at the overpass of I-805 and at the overpass of I-15, both along Adams Avenue, are the Mountain View District's major gateways which form the western gateway and the eastern gateway respectively.

Upon field investigation of both gateways it is possible to significantly develop and articulate these two locations by: (1) large scale or large mass landscape treatment which would be unique to the area, (2) providing decorative and ceremonial lighting on both sides of the street and in the four locations of the overpass along Adams Avenue, and (3) by providing a hanging, over the street sign which states "Mountain View".



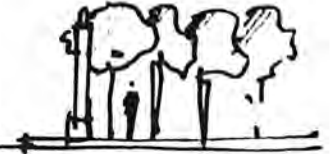
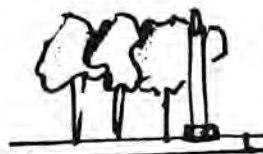
Street Intersections

The public thoroughfares provide the framework and structure for the "form of the neighborhood". These thoroughfares are classified as roads, streets, avenues, and boulevards. In the Mountain View District there are five types of thoroughfares / intersections. They are: (1) 33rd and Adams Avenue which is a prominent type, (2) Hawley Boulevard which is a typical intersection type along Adams Avenue, (3) the overpasses at I-805 (west gateway) and I-15 (east gateway) which are a transitional type, (4) Mountain View Drive which is a canyon street and defines the entire edge of the mesa, and (5) the typical community street such as Copley, Collier, Felton, Mansfield, etc.

With a clear and careful articulation of the thoroughfare system, the Mountain View District would easily become a very readable urban community.



PROMINENT INTERSECTION



TYPICAL INTERSECTION

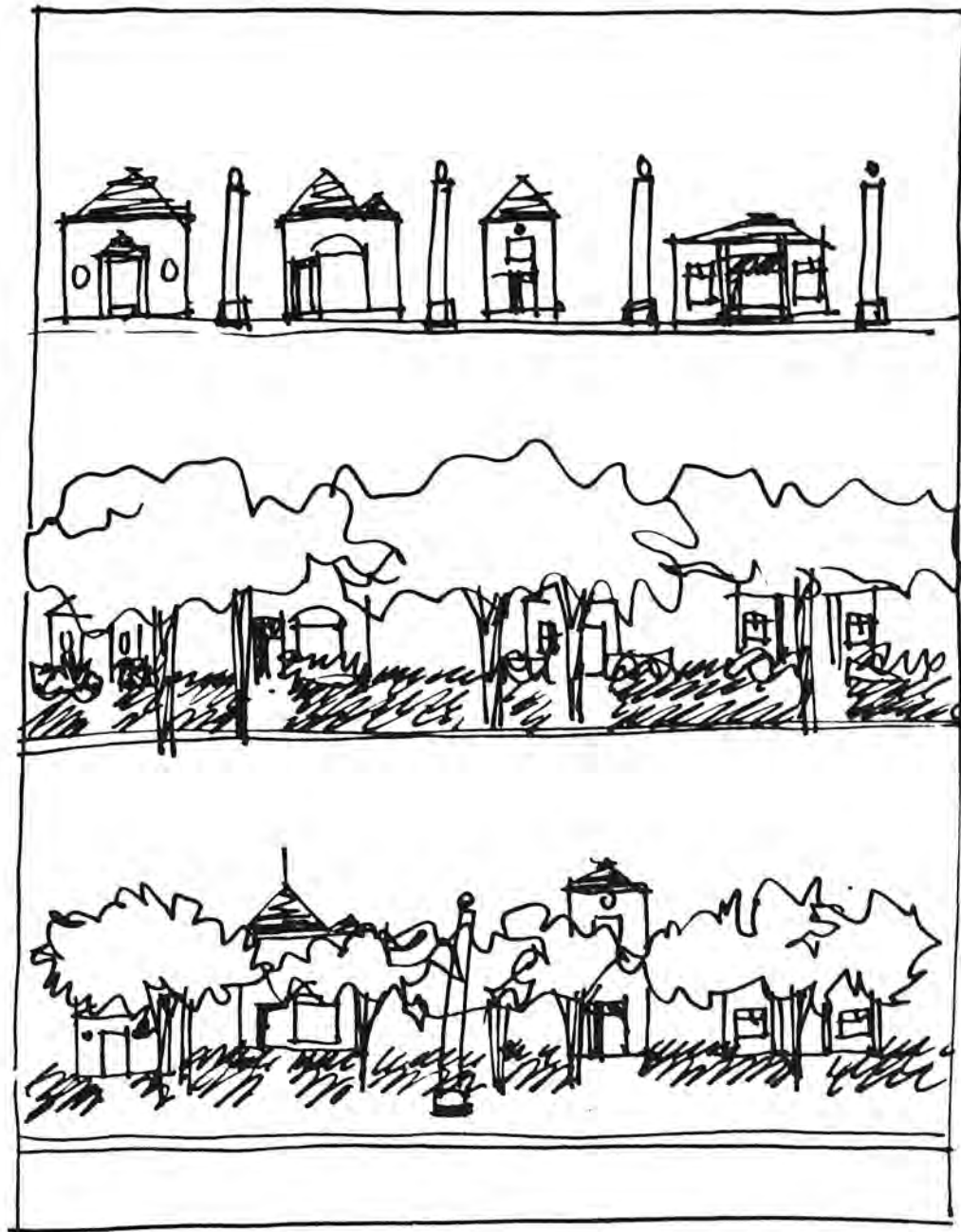


TRANSITIONAL INTERSECTION

Streetscape

Up until the fire, the neighborhood distinguished itself by the detail in its facade, the use of varied landscape, and the treatment of the frontyard. This aesthetic should continue to be encouraged; it will facilitate the "mending of the fabric".

There are essentially three variables that need to be examined in order to provide a rich and high quality streetscape. They are: (1) Developing a strong relationship between the form of the house (object) and other elements of street, such as, street lights, street trees, fencing, etc.; (2) a layered landscape treatment where large street trees are followed by a shrubbed frontyard fence, which is then followed by a "tidy lawn" which the house is placed on, and (3) a combination of the above, with the articulation of the entry or an important element.

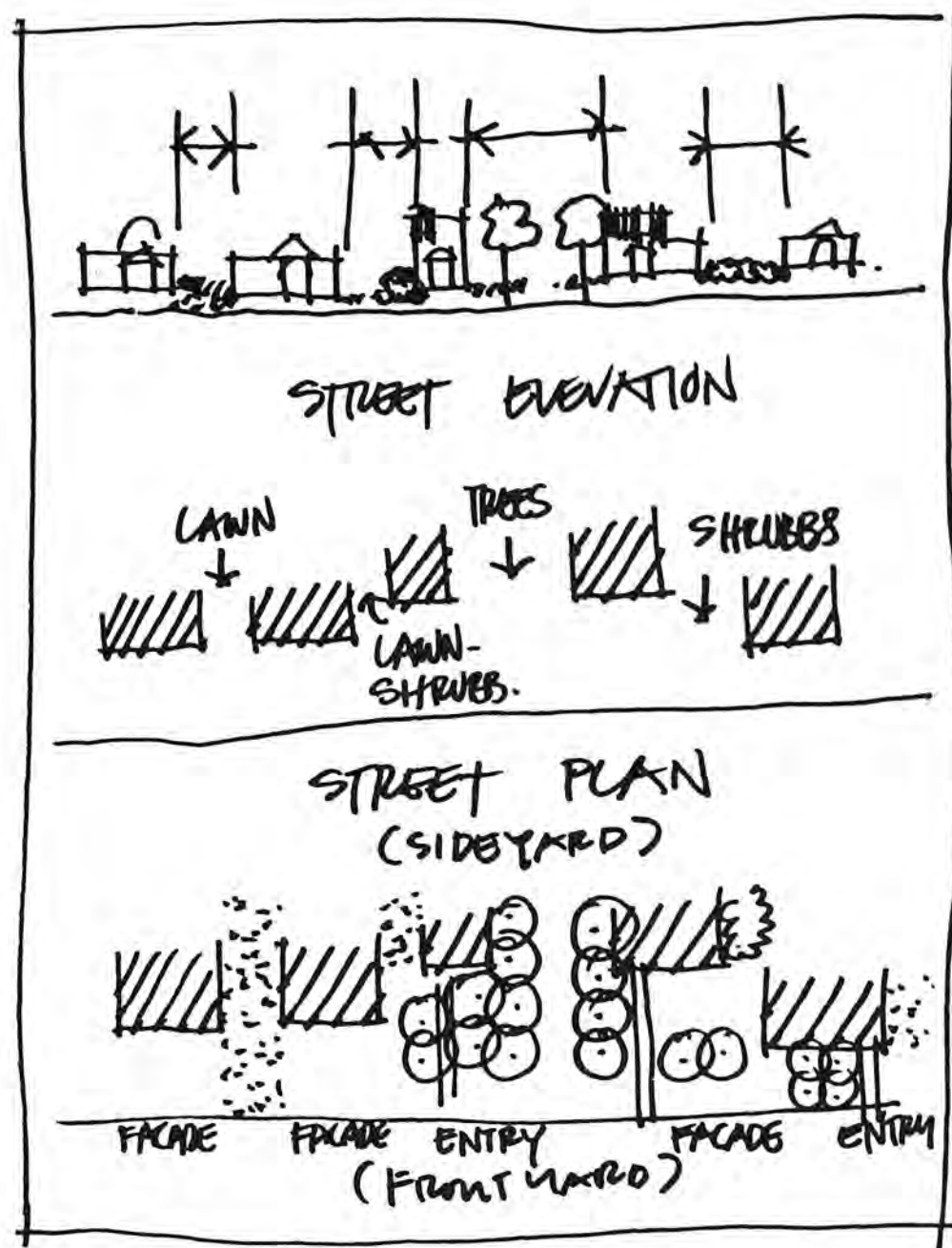




DECORATIVE LIGHT AT MID-BLOCK
WITH SPECIMEN NEIGHBORHOOD TREE.






Massing

There are three basic building envelopes: one story, two story, and three story. They can be located on the lot to the side or centered as well as close to the street or at the back of the lot. Thus many combinations can occur, the most difficult of which will be the one story residence next to a three story residence, or two three story residences next to each other. These two conditions should be avoided.















Housing

Traditional single family housing with a 50 feet lot width; typical house size is between 900 sq. ft. and 1,200 sq. ft. These houses are mostly of Spanish - Mediterranean design or California Bungalow and were constructed around 1930.

					
HEIGHT:	1 story	1 story	2st.	2st.	3st
LOCATION:	Centered	Side	Center	Side	Center
TYPE :	1	1A.	2	2A.	3

COMBINATION:

					
	1.		2.		3.
					
	4.		5.		6.

The Form of the Neighborhood
(Significant Couples)

This investigation identified several urban design strategies for re-building the neighborhood in an appropriate manner. They are:

District-to-Community: Mountain View is clearly a separate well defined district from Normal Heights based on density, topography, building type, block size, etc.

Neighborhood-to-District: The reconstructed area is the transitional edge from the canyons-to-the-plateau.

Park-to-Canyon: Several new locations for parks now exist which could provide an acknowledgement of the canyons to the residential core area.

Form-to-Neighborhood: With the reconstruction of new residences a volumetric transformation will take place which might dis-associate the remaining neighborhood by creating a "residential wall"; this can be overcome by building vertically and/or by constructing a narrow house.

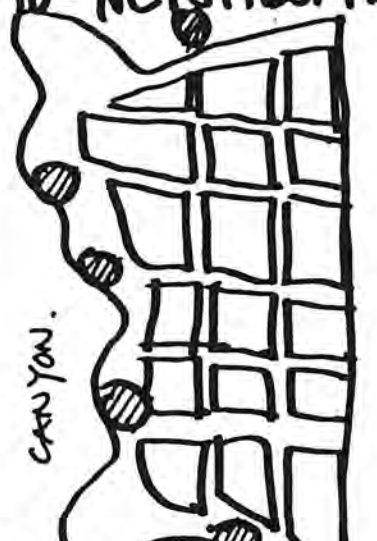
REVISED
"EDGE-
CONDITION"
c. 1985



typ. BLOCK
350x700'
HSE.
(1930's)

NEW
FIGURE GROUND
(FORM "L-TO-NEIGHBORHOOD).

- ✓ PASSIVE PARKS
- ✓ CANYON ACCESS
- ✓ VIEWS & VISTAS



NEW
OPEN SPACE PLAN
(PARKS-TO-CANYON).

KENSINGTON

← I-15 →

MISSION VALLEY

CANYON

NORMAL HTS.

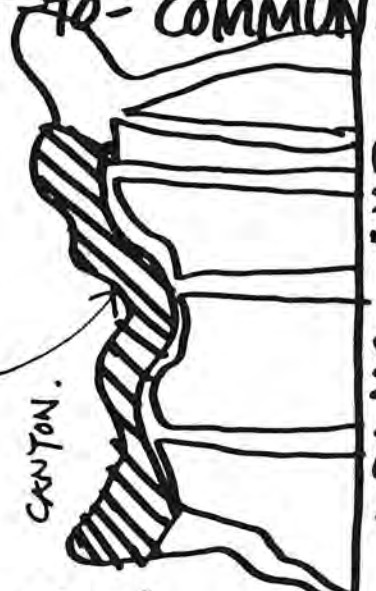
NORMAL HTS. SOUTH.

← I-805 →

DISTRICT MAP
(DISTRICT-TO-COMMUNITY).

NORTH PARK

FIRE AREA
TO HOMES
DESTROYED



CANYON.

ADAMS AVE.

35TH ST.

33RD ST.



MOUNTAIN VIEW DISTRICT:
(NEIGHBORHOOD-TO-DISTRICT).

SIGNIFICANT COUPLES

House-to-Street: Articulation of the distance between the face of the structure and the street create a textured streetscape.

Gate-to-House: Provide a "processional" approach with appropriate hierarchies to denote significance of residence. In some cases this might have to occur within ten feet from the property line.

Frontyard-to-Street: The frontyard might very well serve as the overall green-way for the landscape interventions.

Entry-to-House: The majority of residences in the neighborhood has an articulated entry. The distinction between entry and house classifies and promotes an intimate scale typical of 1930's residences in this area.

Main Window-to-Facade: The living room window is the "public eye" to the community as is the street facade the "public face"; its composition must be well studied.

Facade-to-Sky: The "public face" has its unifying context, the natural environment. Special attention must be paid to the aesthetics of the adjacent property owner and the image ability of the entire neighborhood.

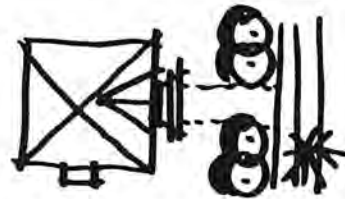
With regards to the last six items, and in consideration of the difficult building parameters (construction costs, codes, topography, etc.) these simple concepts can provide the appropriate richness by studying the elements in significant couples (logical pairs).



HOUSE - TO - STREET



GATE - TO - HOUSE



FRONTYARD - TO - STREET



ENTRY - TO - HOUSE



MAIN WINDOW - TO - FACADE



FACADE TO SKY (LANDSCAPE)

"SIGNIFICANT COUPLES"

ARCHITECTURAL IMAGE

Normal Heights is a neighborhood in transition. Many styles of homes and many different resident groups co-exist in a semi-urban context. While realizing that the need to rebuild cost effective homes is an overriding concern, it is important to respond to the existing neighborhood design.

New homes can fulfill the opportunity to conform with and respect existing homes. The issues of site planning, building configuration and massing are essential parts of the design of new homes. By examining the context and typical examples these issues can be addressed and new construction can:

- * Respond to existing natural form;
- * Respond to existing built form;
- * Provide for uniqueness and individuality.

Expectations are that many owners will desire larger homes and more open yard space. These changes, if handled sensitively, can take into account the existing context. Almost regardless of style new homes can respond and fit into the neighborhood as new, but compatible, replacements for lost pieces.

Finally, the typical examples used for analysis purposes in the discussion that follows are generalizations at best. They should be taken in this light. Their purpose is to convey attitudes rather than attempt to offer specific design solutions.

Site Planning

Site planning concerns itself with the relative placement of elements of the home on the site with respect to certain externally and internally generated conditions. These conditions are either environmental or architectural/experiential. The environmental issues include; views, solar access, topography, etc. For the most part these issues do not manifest themselves in a way that is unique to Normal Heights. Consideration of views and topography are of unique importance here and are dealt with in somewhat greater detail when relevant.

The second set of site planning considerations have been identified as architectural / experiential. These considerations have to do with an understanding of the typological and morphological issues which have a significant impact on the built form of the Normal Heights neighborhood. These issues are manifest either as attitudes about the transition from the public to the private realm, or as attitudes about building massing and configuration. The configuration of the home is especially important relative to the family car.

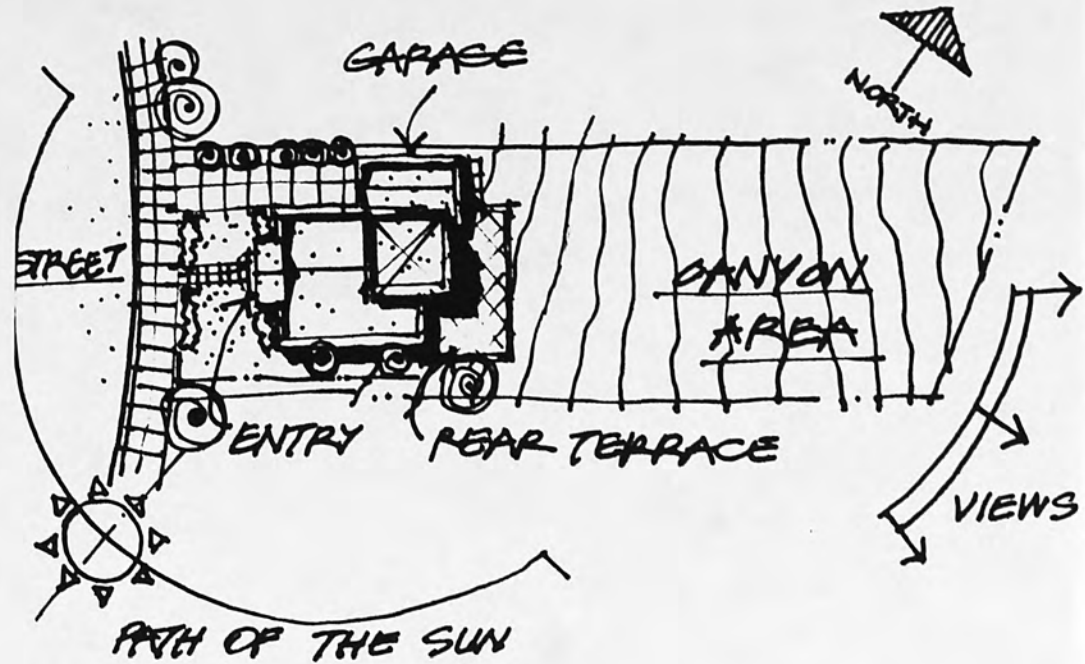
The transition from the public to the private realm is important to any discussion of housing, but especially here. Homes in the Normal Heights neighborhood deal with this transition and the role of the automobile in a very specific way.

Environmental Concerns

Concerns addressed by the consideration of environmental orientation are:

- * Solar Gain/Shading (See energy section)
- * Views
- * Changes in topography
- * Access to winds or
- * Shelter from winds

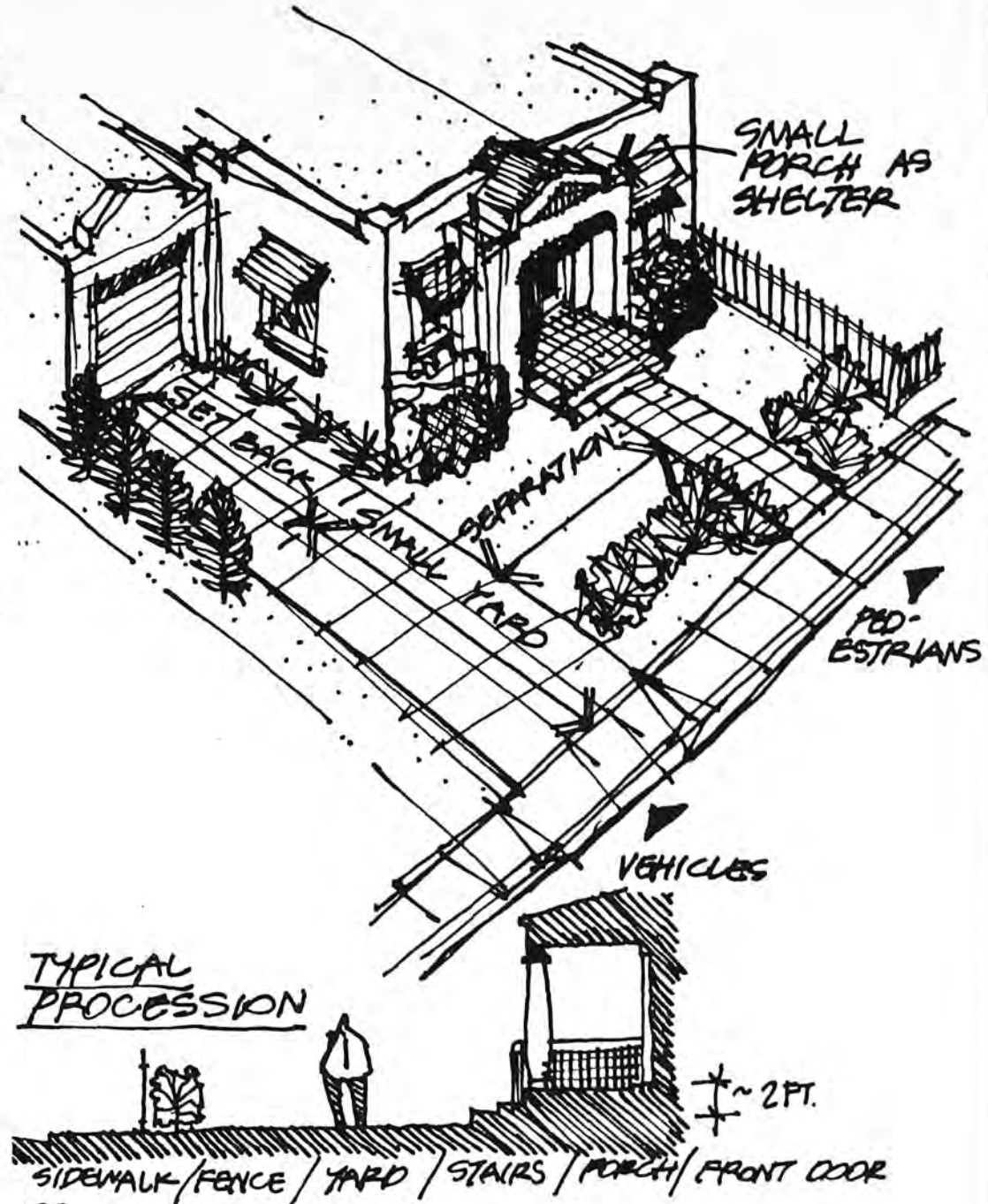
Selective orientation of building masses (garage, etc.) and use of overhangs should not preclude sensitivity to context and massing concerns. The above are dealt with in the following sections when relevant.



Architectural/Experimental

The transition from the public street to the most private spaces of the house is highly articulated. Street -- sidewalk--front fence/hedge/gate -- front walk/ frontyard -- stoop -- porch -- entry/ front door -- entry vestibule -- living room etc.

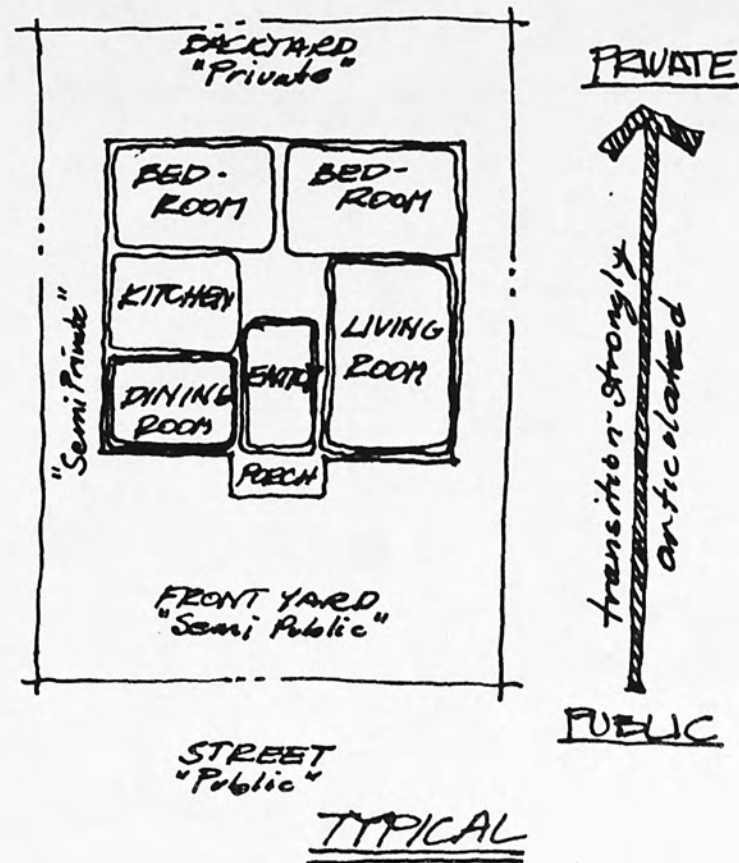
This sequence contributes significantly to the character of the neighborhood as it is experienced by the residents and visitors. The street is made up of compressed front yards in front of entries and living rooms not bedrooms. Typical front yards are small and intensely used for planting and access for both pedestrians and vehicles. A small driveway and centralized, focal walk are common. The garage is often set back from the front of the house (see "Massing" section), and de-emphasized. Consideration should be taken to preserve this public to private relationship.



Orientation of Living Spaces

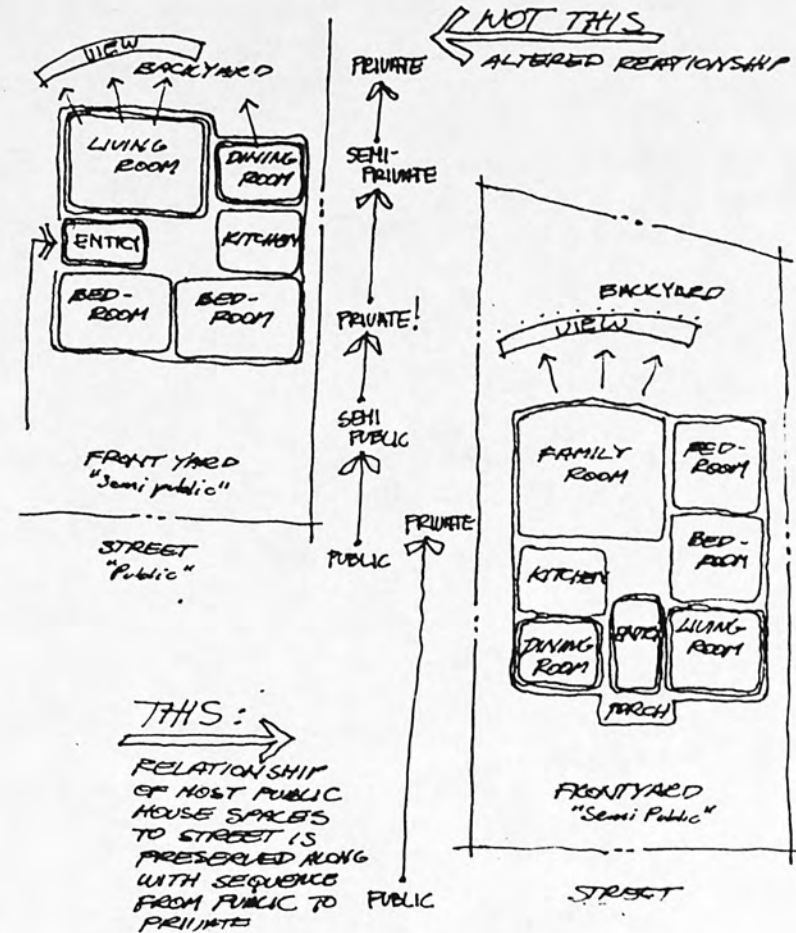
Further issues of orientation of the living spaces to the site are very important to the maintenance of the character of the neighborhood.

The plan of the typical Normal Heights home locates the living room & entry (the most public of inside spaces) at the street face of the house. The bedrooms (the most private of the inside spaces) are located at the rear of the house.



A consideration of views, privacy, and changes in lifestyles over the past 30+ years will tend to rotate this orientation. This has the effect of turning the side or the back of the house to the street.

This rotation or reversal affects the relationship of the house to the street, a very significant characteristic of the neighborhood's design.



Massing/Building Configuration

There is a strong expressed desire by the residents to maintain the small scale - residential - single family home - personal

- * image
- * character
- * feeling

of their neighborhood.

Several potential conflicts surface relative to rebuilding the individual house:

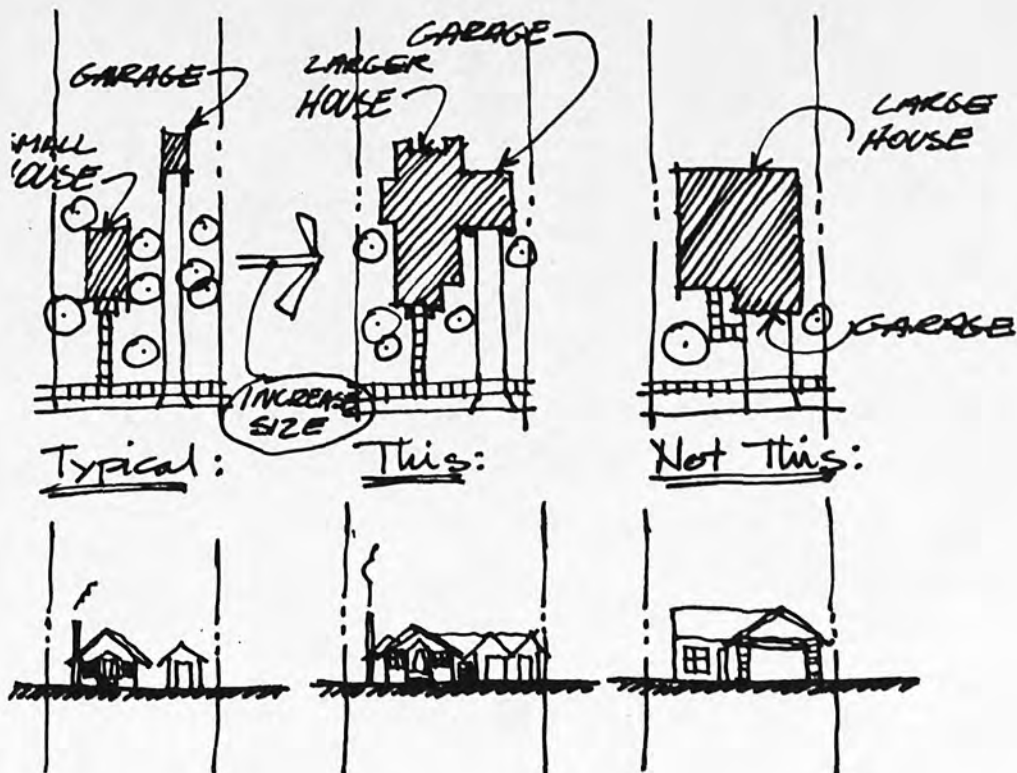
1. Expressed desire by some to build larger homes.
2. Possible two story construction.
3. Accomodation of the family car.

Larger Homes

The desire for a larger home is apparently in direct conflict with the desire to maintain the small house single family character of the neighborhood.

Several opportunities exist to mitigate the effect of larger homes:

- * Several small masses versus one large mass.
- * Attempt to "break-up" the mass of the house.
- * Articulation of house & site elements to mediate between the "human scale" & the "building scale".
 - porches - stoops
 - eaves - garden walls
 - balconies - landscape
 - windo treatments - trellises
 - hedges, etc.

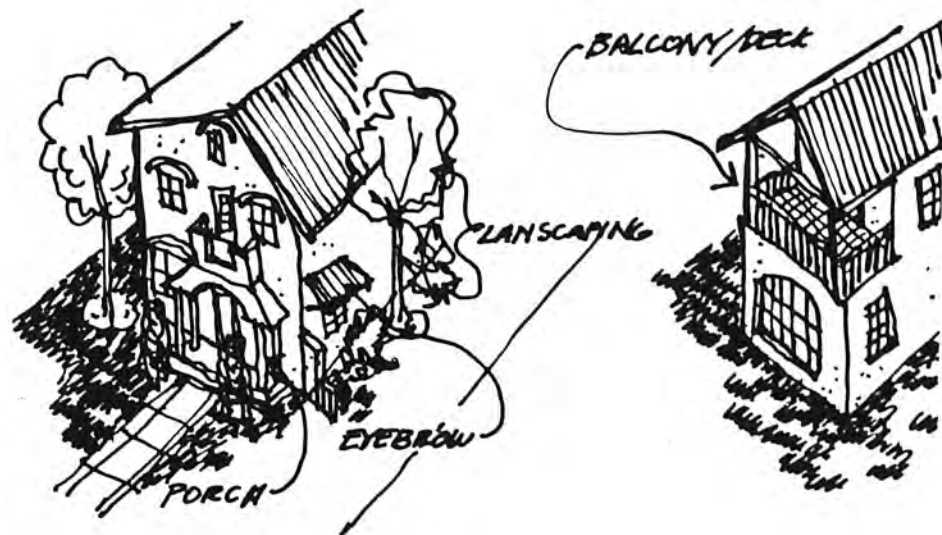
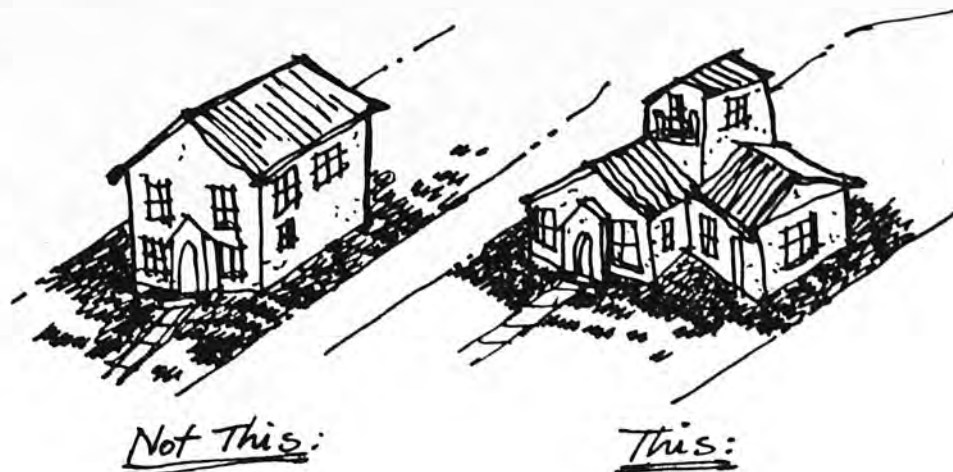


Two Story Construction

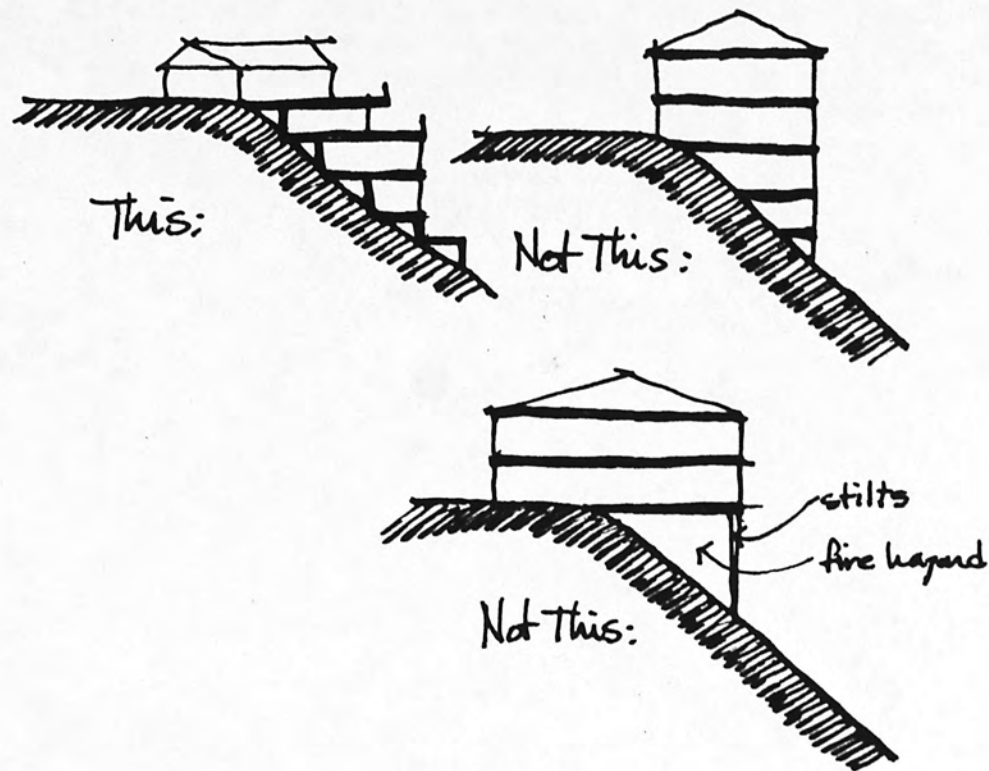
The desire to increase floor area and/or open space will lead to the consideration of 2 story homes.

If handled sensitively a loss of the desired neighborhood character is not inevitable.

- * In order to reduce the apparent bulk of a two story structure keep continuous 2 story walls to a minimum.
 - step back to 2nd Story
 - utilize house & site elements to mitigate the effects of two stories such as; balconies, porches, window eyebrows, overhangs, eaves, stepping walls, decks, landscaping.



- * Where possible respond to "lay-of-the-land". This provides the opportunity for stepping down the canyon rather than cantilevering or stilting.



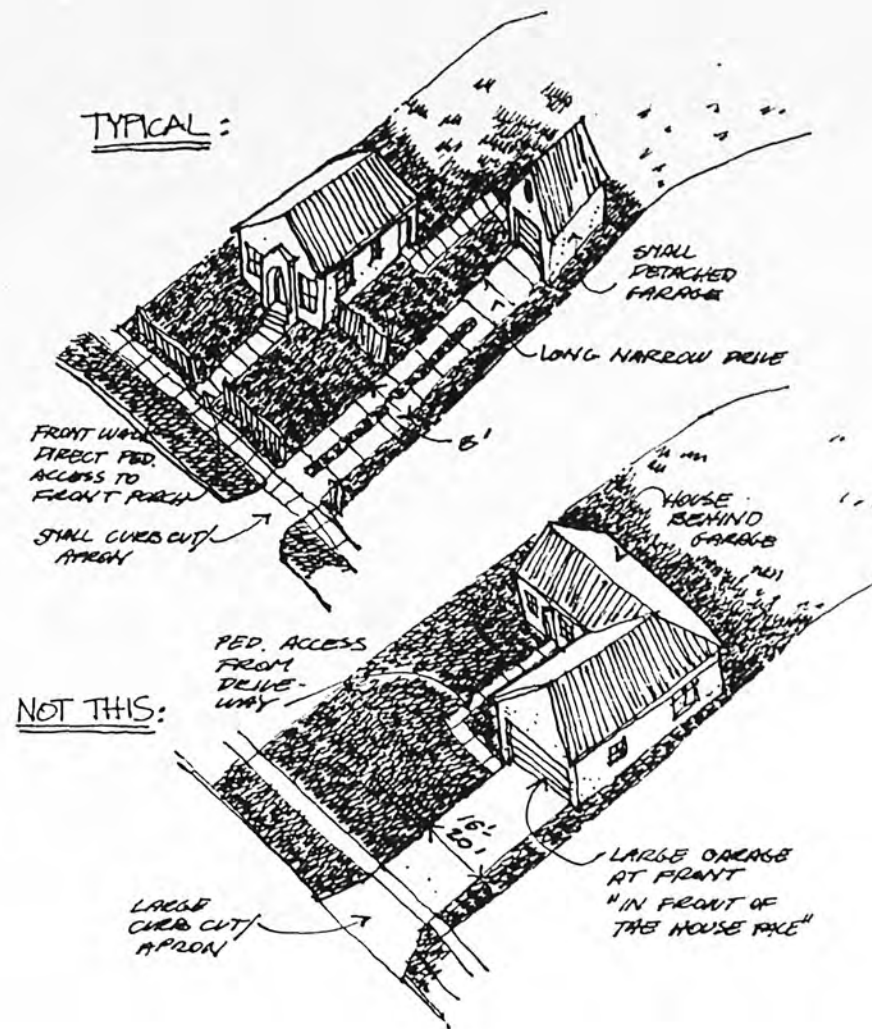
The Family Car

Most dwellings in this neighborhood were constructed when one car per family was the norm. Today, two car and three car households are common. The neighborhood as designed is unable to accommodate these additional autos. Parking in driveways and on the street has been the solution.

An opportunity exists to better accommodate the auto and its garage. This needs to be accomplished without making the garage the dominant structure on the lot. (The contemporary 2 car garage is larger than some houses in this area). There maybe a tendency to construct 2 car garages to replace 1 car garages as well as to attach the garage to the house for privacy and weather protection.

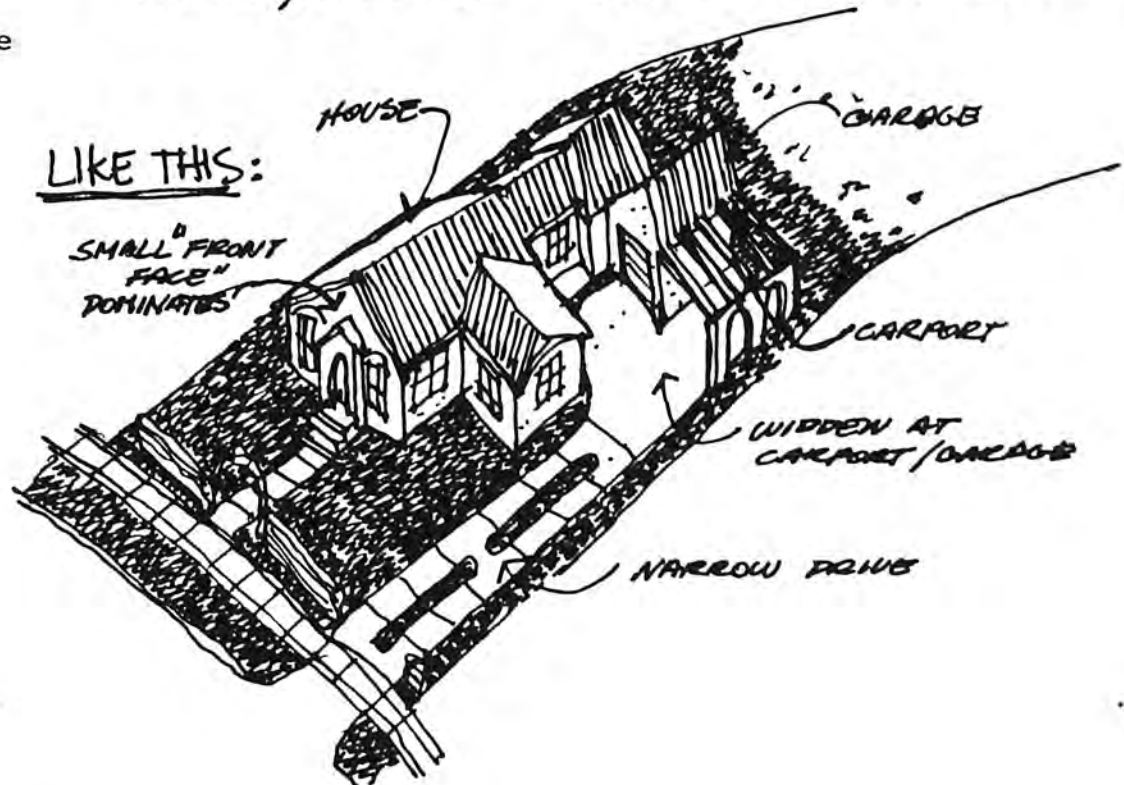
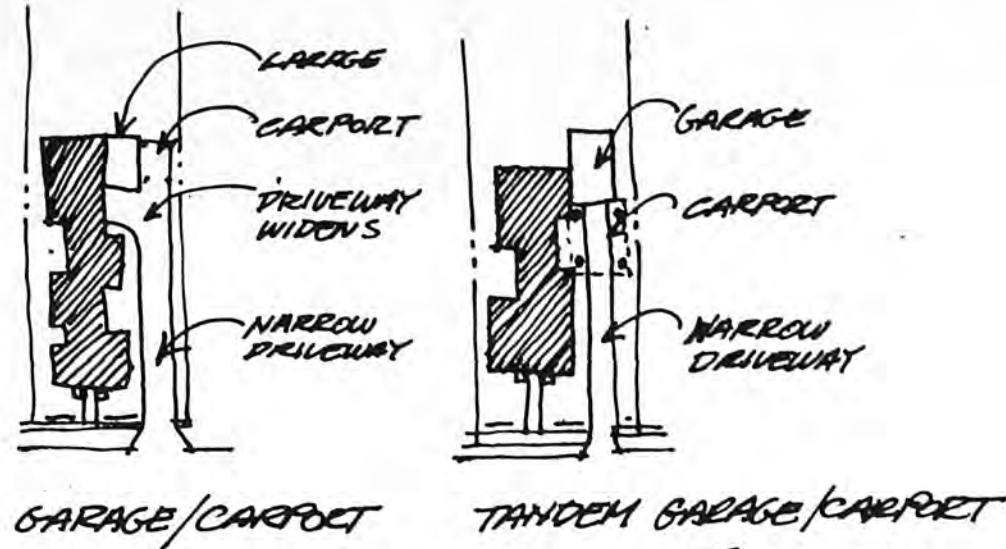


It is important to understand the lot/building relationship of the typical Normal Heights home site. The most apparent difference between this neighborhood and newer suburban neighborhoods is the relationship of the garage to the house. The garage is typically single car and detached. It is located towards the rear of the lot, behind the "face" of the house. The front door is the dominant feature of the house, not the garage door.

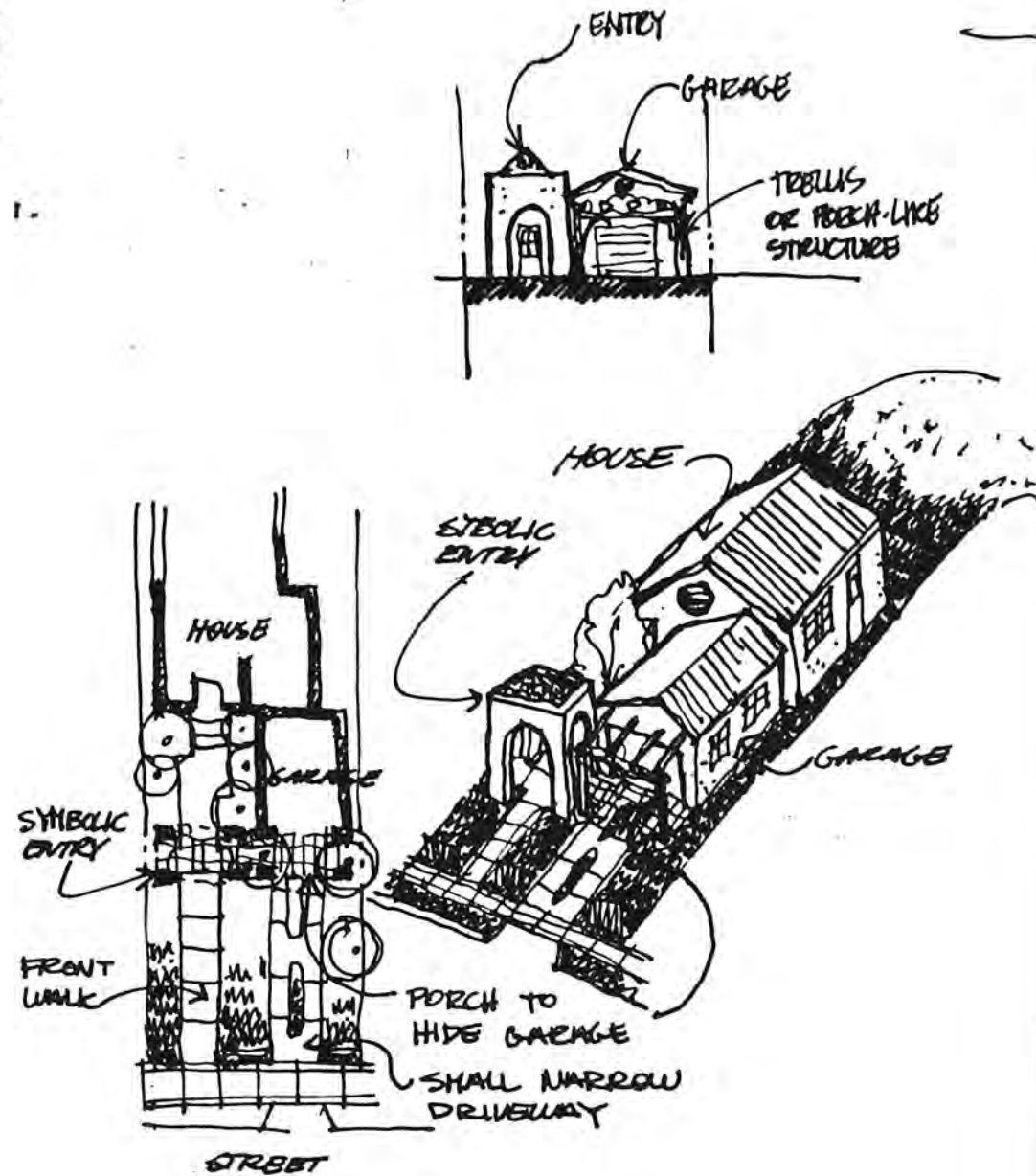


Opportunities:

- * Maintain detached character of the garage by using a semi-detached garage connected to the house by a trellis or breezeway.
- * Maintain rearyard storage of autos & placement of the garage.
- * Consider 1 car garage & trellis type carport to house second car, either next to enclosed garage or in tandem.
- * Two small garage doors are preferable to one large one.
- * Articulate two car garages as two-one car garages.
- * Carport/garage combination.



Some lots may preclude a house-in-front configuration. It is important here to maintain the importance/dominance of the pedestrian access of the houses. A possible strategy is to hide the garage with a trellis, etc.



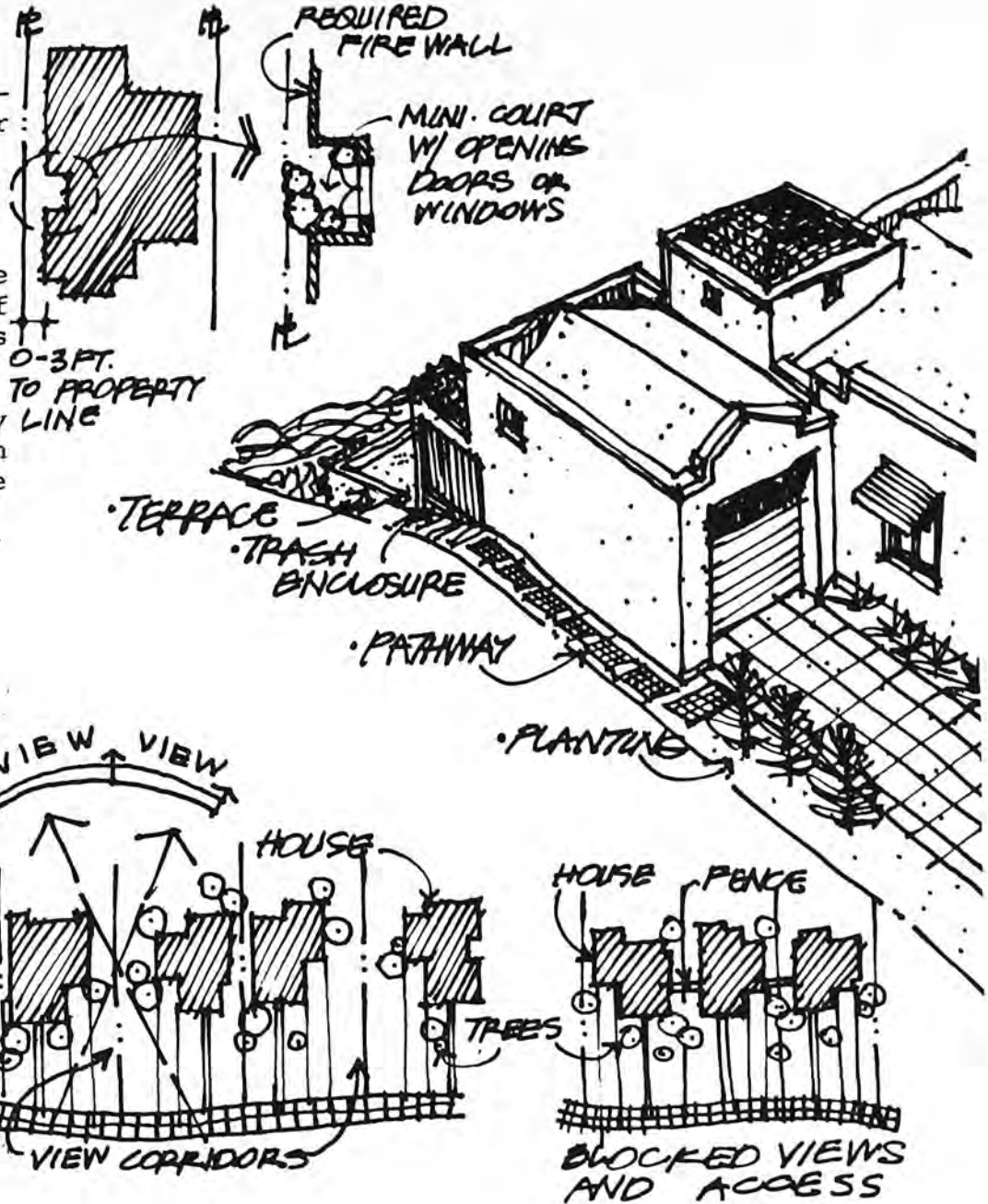
Side Yards

Side yards are typically small or non-existent with intense uses for access or storage (trash, etc.)

- * Access
- * Storage (Trash, etc.)

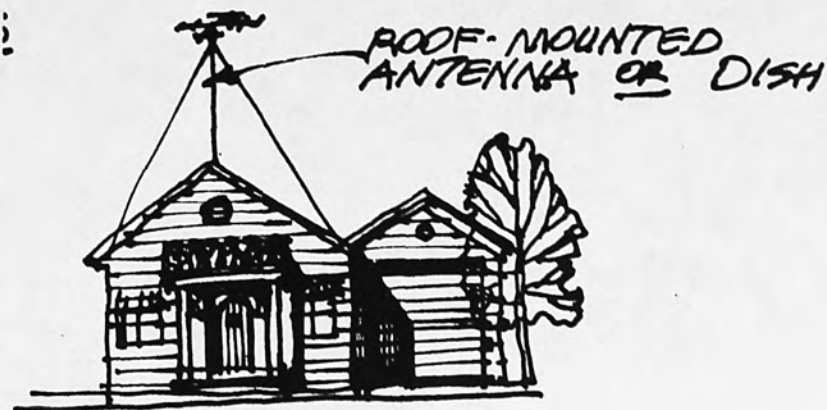
There is some opportunity to increase side yard size, and to create visual corridors if desired. Views can be obstructed by fences or planting.

Where house walls are close to property lines, openings can be incorporated within mini-courts which step back from the property lines.



Antennas/Satellite Dishes

In order to avoid the potential eyesore of large roof-mounted television antennas, it is desired that homeowners take advantage of cable service or utilize ground-mounted satellite dishes screened from views with fences or planting. These dishes would be most appropriate in rear yard areas, but consideration should be made for neighbors' canyon views.



AVOID THIS



SCREENED SATELLITE DISH

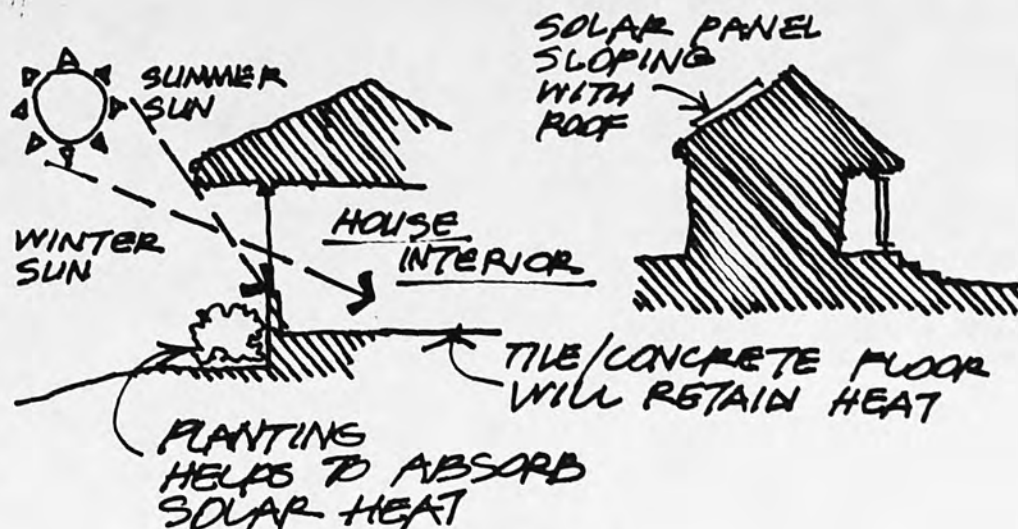
Energy

State energy regulations (Title 24) are in effect, which may require reduction of glass area in some designs. The use of dual glazing is standard in residential construction. The use of overhangs or awnings will help to reduce unwanted solar gain (heat). Selective orientation & configuration of the house plan will assist in reducing air conditioner use.

Passive solar design also considers glass area, materials & finishes, and possibly the use of shade trees and planting near walls which receive a lot of sun.

There are many good references available on passive design in architecture. San Diego's climate allows for good, energy efficient design.

Active solar systems are generally used for domestic water heating. Solar panels should be integrated into the design of the home, e.g. onto a sloping roof.



ARCHITECTURAL DETAILS AND MATERIALS

In the Normal Heights District there are a wide number of architectural styles. Each property owner is therefore encouraged to work within this context as well as with, their adjacent property owners and of course the unique conditions of the site. This should be done in order to establish an architectural expression that will, while providing an individual expression, insure conformity and clarity with in the environ of Normal Heights.

As mentioned above, that an important part of the character of Normal Heights is its varied and individualistic architectural expression; and yet, certain styles, materials, and colors are not appropriate. Moreover, it is important to consider the appropriateness of style, material and color when designing the new residence.

Although several architectural styles coexist in this neighborhood, there are two predominant styles: California Bungalow and Spanish Mission. The residents of Normal Heights, based on the workshop process, have an expressed desire to preserve the neighborhood's existing character and image. This may be accomplished through diligent attention to site planning, landscaping, appropriateness of scale, architectural detailing, and choice of colors and materials.

This section deals with those issues of architectural detailings and choice of materials which contribute significantly to the architectural character of Normal Heights, and are classified into ten categories:

1. Exterior Wall Finish Material
2. Wall Design
3. Roof Shape
4. Roof Trim
5. Chimney Styles
6. Windows
7. Doors
8. Entry
9. Steps/Stoops
10. Special Ornament

California Bungalow

The California Bungalow is a one story house with gently pitched broad gables. A lower gable usually covers an open or screened porch and a larger gable covers the main portion of the house. Rafters, ridge beams, and purlions extend beyond the wall and roof. Chimneys are usually of rough-faced brick and some times cobblestone. Wood shingles are the favorite exterior finish although many use stucco or brick. Exposed structural members and trim work usually are painted but the shingles are left in natural state and treated with earth-tone stains. Windows are either sash or casement with many lights or simple panes of glass. Singled porch railings often terminate with flared base. The bungalow, like other simple but functional houses was subject to variations according to locale and fashions of the time.





Exterior Wall Finish

There are only three predominant exterior wall finishes:

1. Smooth Flush Boards
2. Overlapping Boards
3. Shiplap

Wall Design

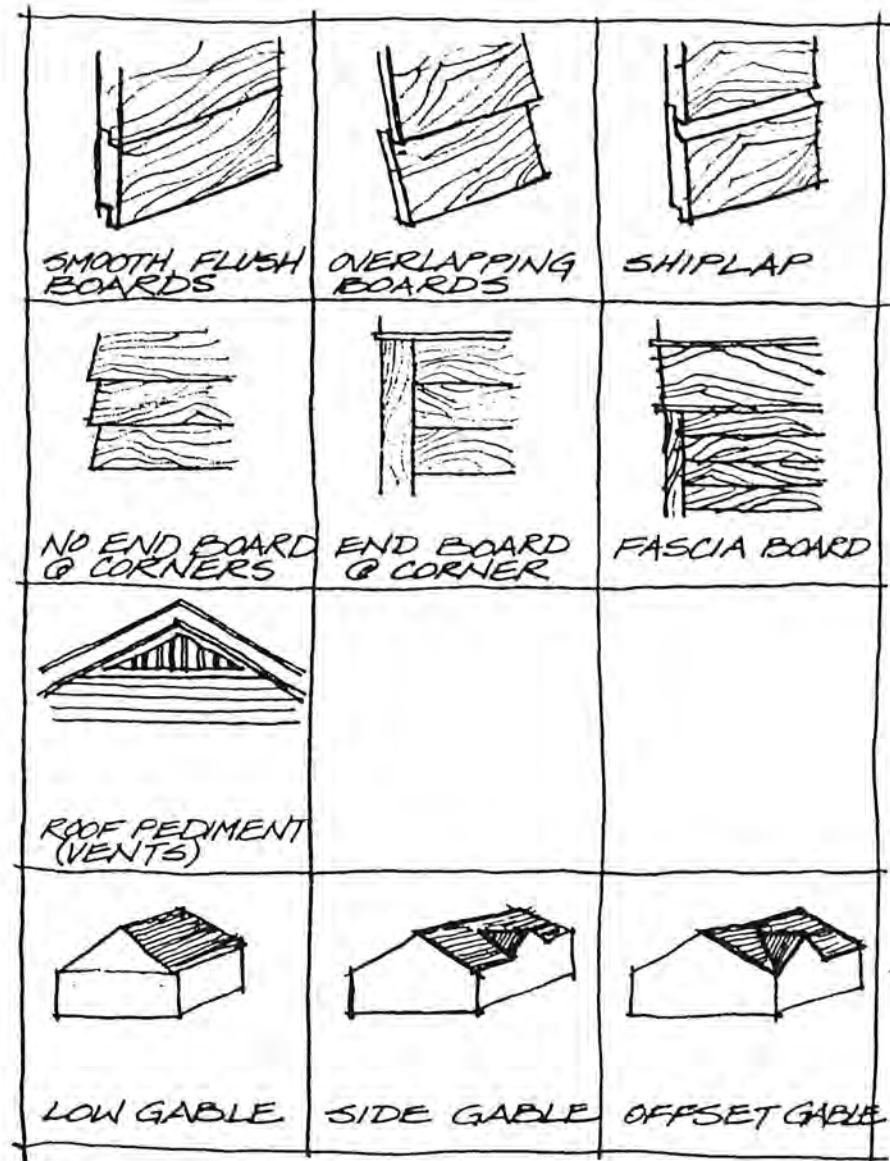
Most of the walls are primary flat, accented with fascia and batten boards. Some of the wall conditions that exist are:

1. No end board at corners.
2. End board corner trim.
3. Wood trims that accent corners and edges of the homes.
4. Roof vents to articulate wall with form and color.

Roof Shapes

Composition Shingles is the material predominately found on the roofs in the area. (Great variety in quality and fire ratings)

1. Low gable
2. Side gable
3. Offset gable



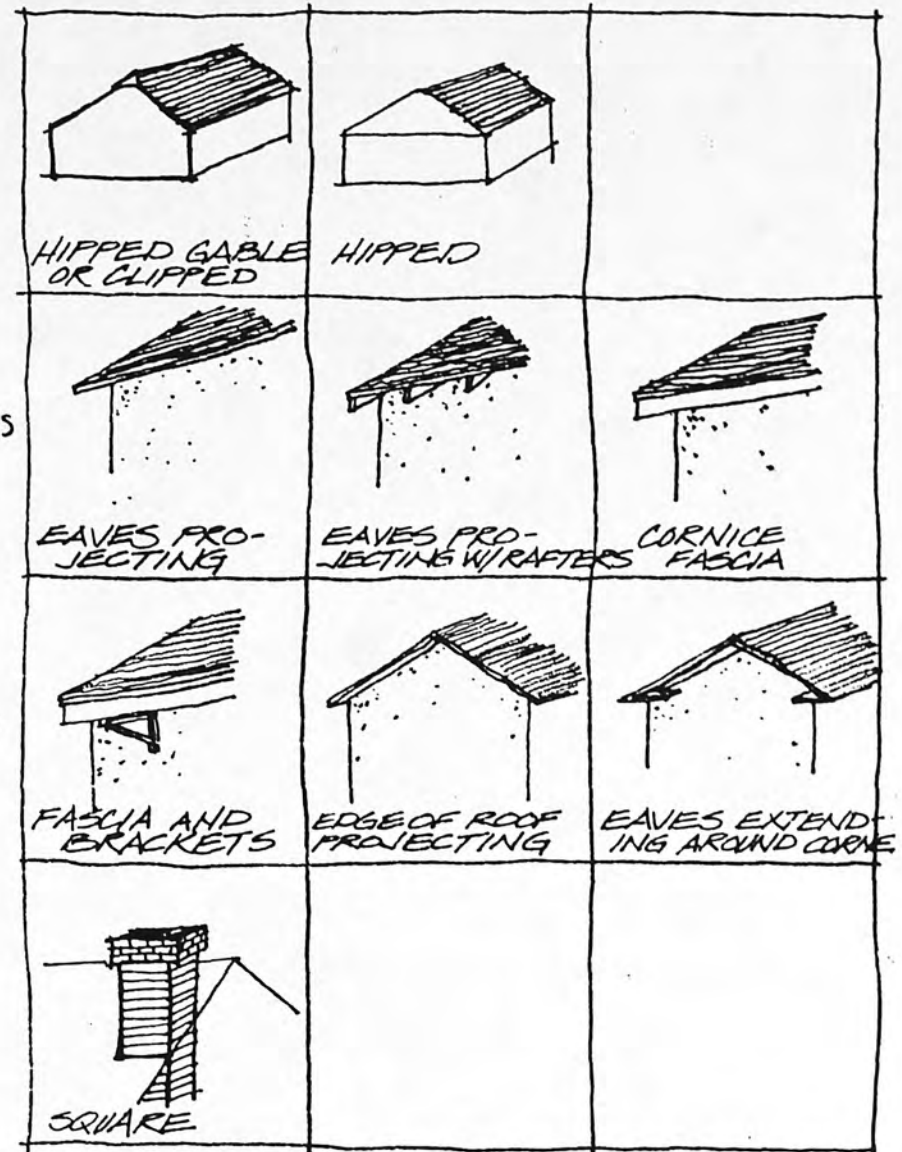
4. Hipped gable
5. Hipped

Roof Trim - Eaves/Gables

1. Eaves projecting with no projecting rafters.
2. Eaves projecting with projecting rafters.
3. Cornice fascia.
4. Fascia with brackets.
5. Edge of roof projecting.
6. Eaves extending around corner.

Chimney Styles

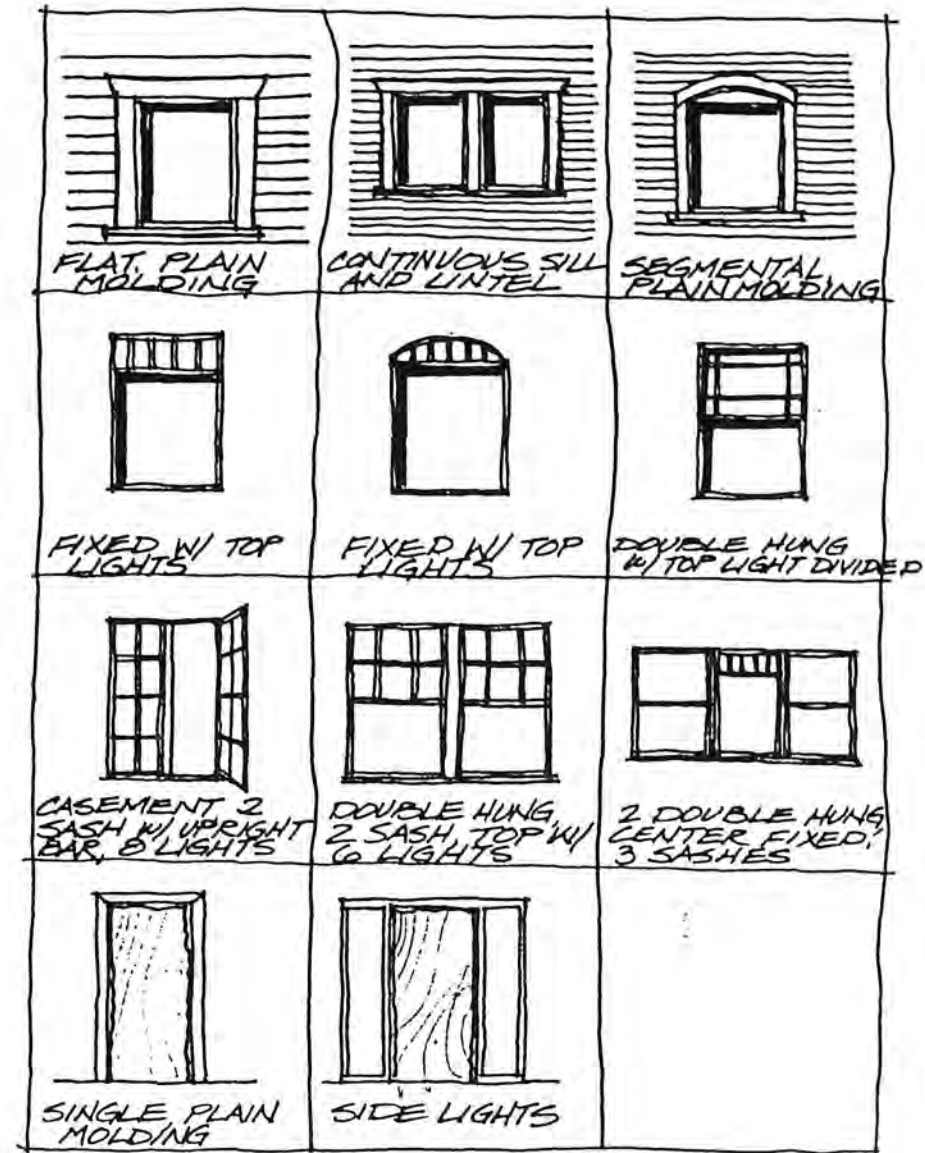
1. The square brick chimney. This chimney is basically the only style chimney found in the California Bungalow.



Windows

The divisions of the windows and windows themselves are preferred to be wood to retain the aesthetic value of the house, although aluminum windows may be economical. Listed below some of the window types found in the area:

1. Flat, plain molding.
2. Continuous sill and sill lintel.
3. Segmental plain molding.
4. Fixed with top lights.
5. Fixed with top lights.
6. Double hung with top lights divided.
7. Casement 2 sash with upright bar and lights.
8. Double hung 2 sash, top with 6 lights.
9. 2 double hung, center fixed, 3 sashes.



Doors

1. Solid core wood doors with single plain moldings.
2. Wood door with side lights.

3. French door with glass.
4. Wood door with 4 panel with top glass.
5. Wood door with 2 panel with top glass.

Vernadas:

1. Side Open.
2. Sun porch.

Entry

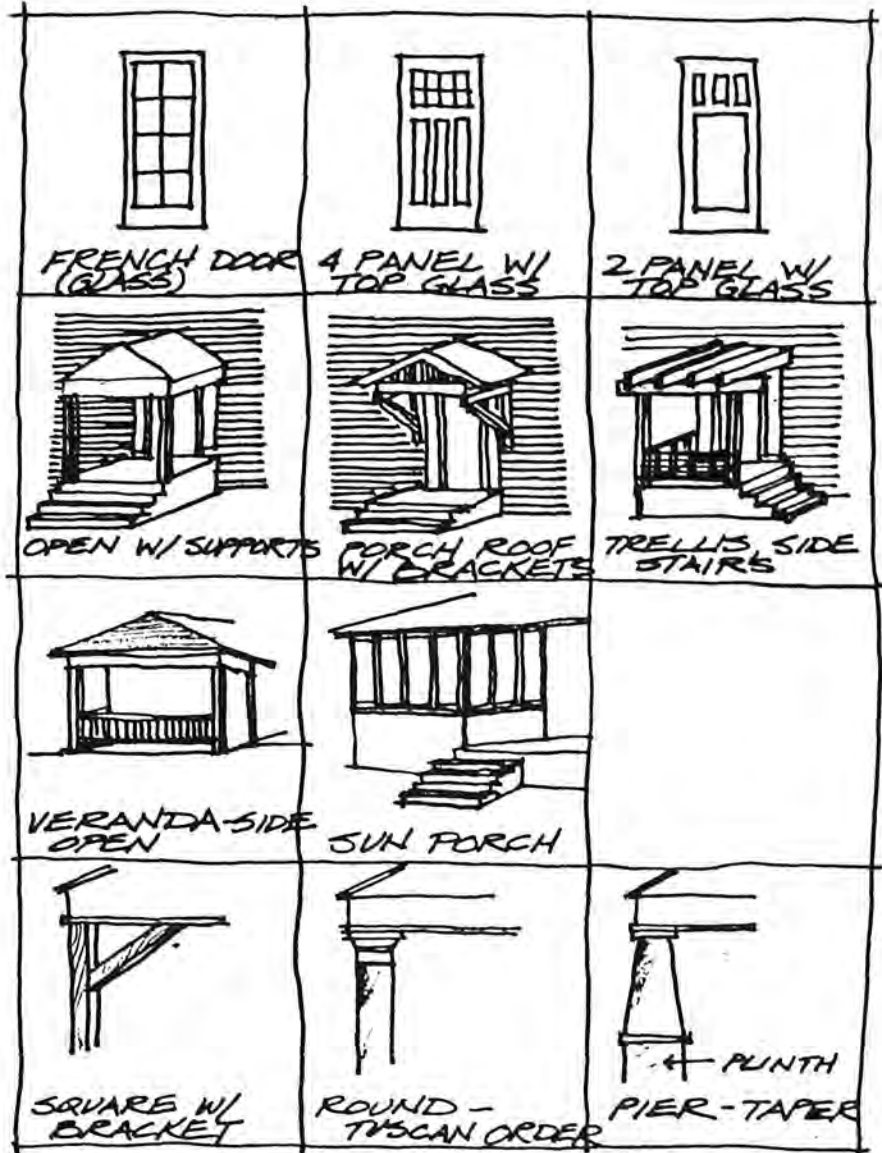
Porches:

1. Open with supports.
2. Porch roof with brackets.
3. Trellis side stairs.

Supports:

The supports are usually constructed of wood, stucco or brick pier.

1. Square with bracket
2. Round-Tuscan Order
3. Pier-taper



Stoops

Shape:

1. Front Stairs
2. Side Stairs

Handrails:

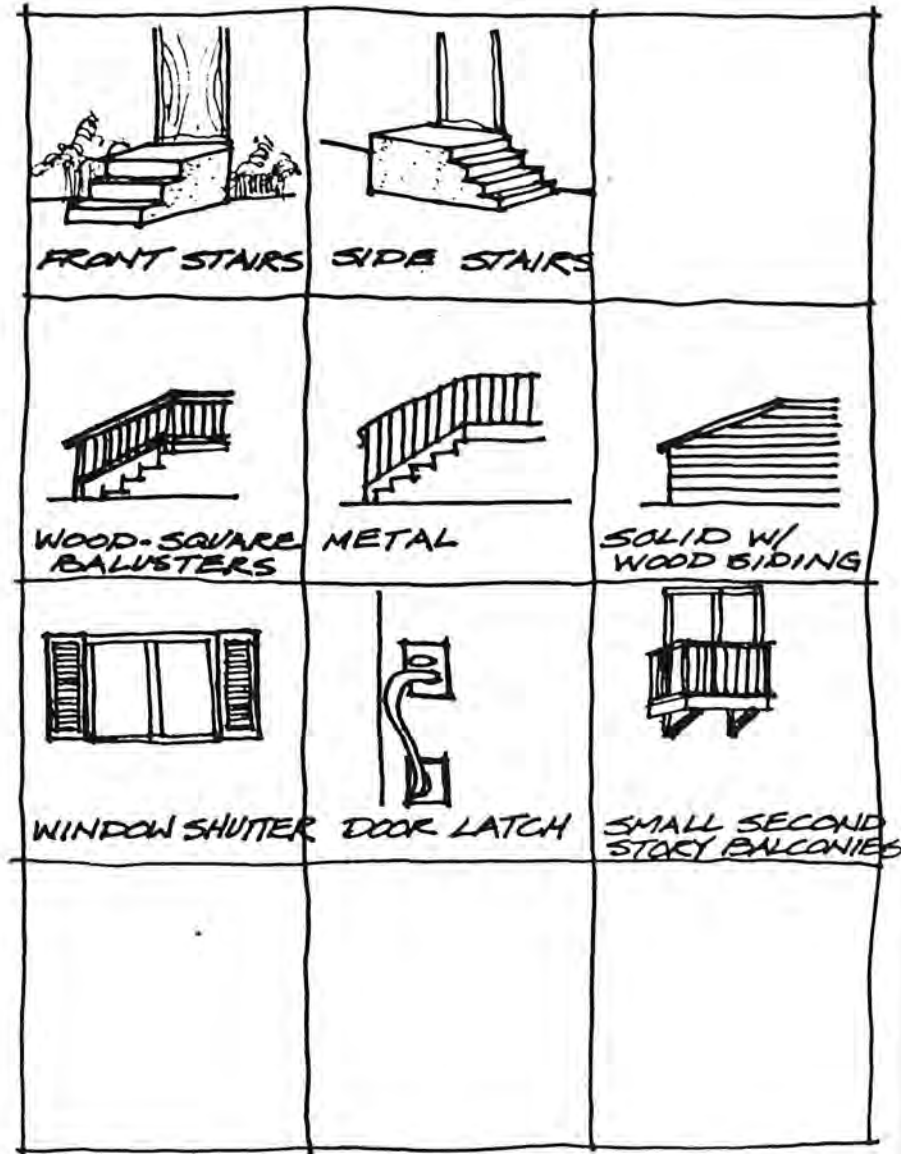
Handrails are usually constructed of wood, metal, and wood siding.

1. Wood-square balusters
2. Metal-wrought iron
3. Solid wood siding wall

Special Ornamentation

In the California Bungalow style there are three special ornaments that are predominant:

1. Window shutters.
2. Elaborate door latch.
3. Small second story balconies.



Spanish Mission

The characteristic of the Mission style is simplicity of form. Round arches supported by piers punctuate stucco or plastered walls. Color and texture are provided in the broad red-tiled roof. Roof eaves with exposed rafters may extend well beyond the walls. At times the plain wall surface is continued upward forming a parapet. Curvilinear gables and small balconies or balconets are used on large buildings. The only surface ornamentation is a plain string course that outlines arches, occasional gables and balconies.





Exterior Wall Finish

Stucco:

1. Hand trowel.
2. Smooth Finish.

Ceramic Tile:

1. Accent feature/color

Wall Design

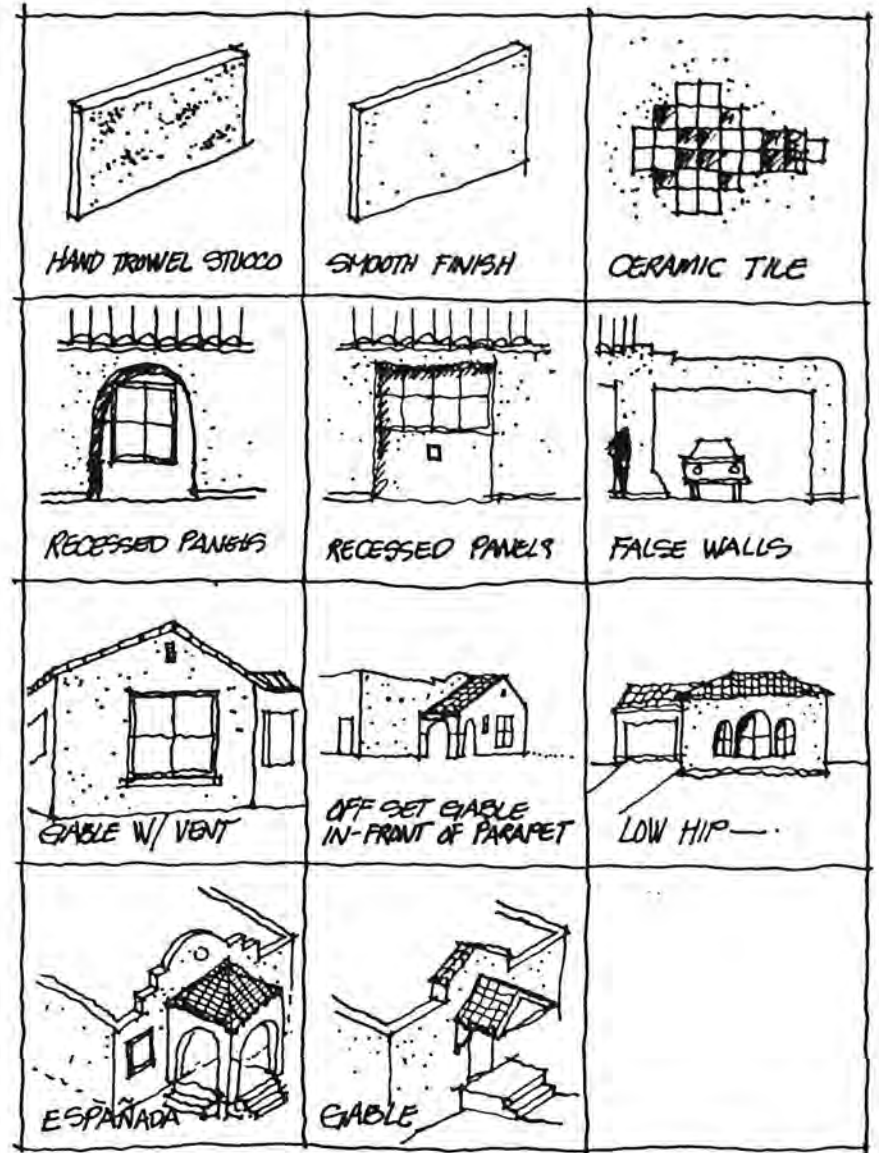
Recessed Panels:

1. The top of these panels may be either flat or arched to protect windows from direct sun.
2. False wall may be used to define the public from private areas of the site.

Roof Shapes

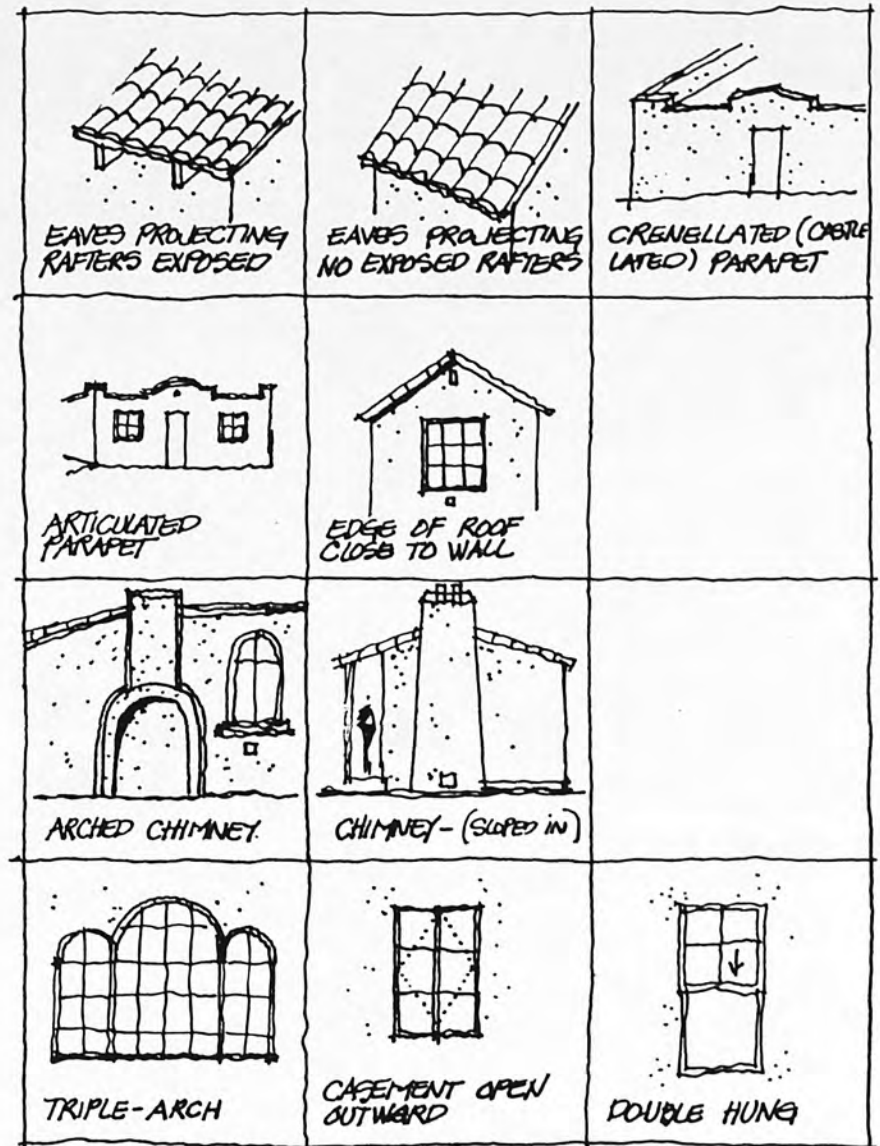
Clay Roofing Tile:

1. Gable with vent.
2. Offset gable in-front of parapet.
3. Low hip.
4. Espanada.
5. Gable.



Roof Trim - Eaves/Gable Ends

1. Eaves projecting rafters exposed.
2. Eaves projecting no exposed rafters.
3. Crenellated castle (castlated) parapet.
4. Articulated parapet.
5. Edge of roof close to wall.



Chimney Styles

1. Arched chimney.
2. Sloped-in chimney.

Windows

1. Triple arch window, connected.
2. Casement opens outward.
3. Double-hung.

4. Double-hung side-by-side with shutters.
5. Fixed window in the center double-hung side.
6. Triple arch window, separated.

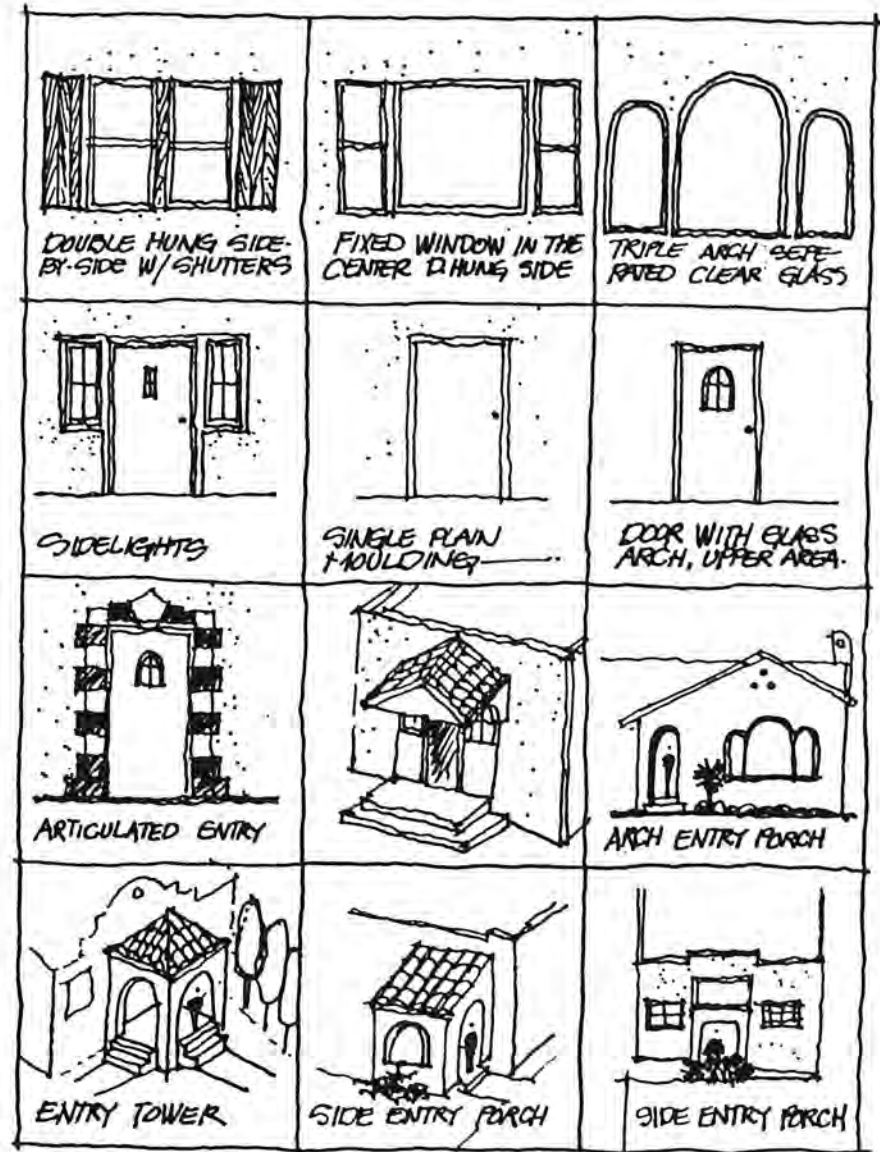
Doors

1. Sidelights.
2. Single plain molding.
3. Door with glass arch, upper area.

Entry

Porches:

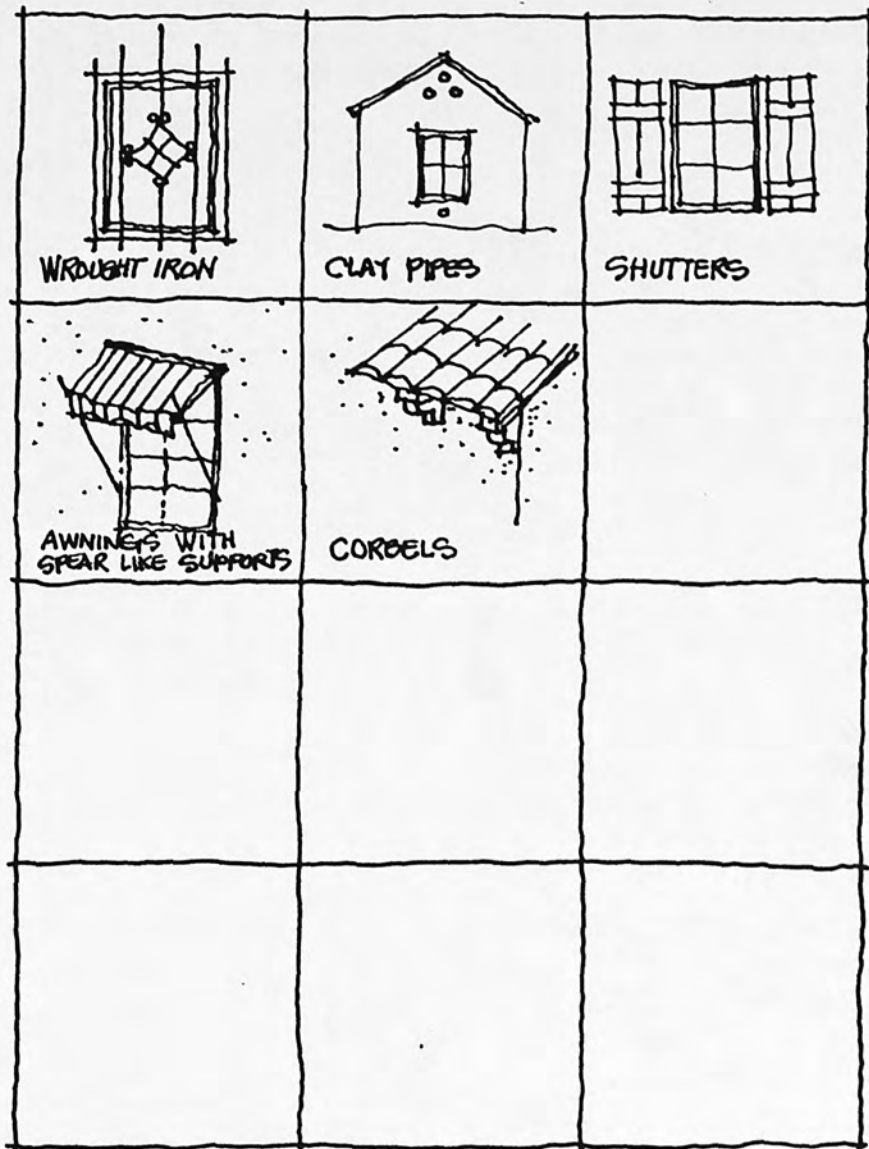
1. Articulated entry doorway.
2. Canterlever porch.
3. Arch entry porch.
4. Entry tower.
5. Side entry porch.
6. Side entry porch.



Special Ornamentation

These are some of the most predominant ornamentation found in the Spanish Mission style.

1. Wrought iron window protection.
2. Clay pipe used for roof vents.
3. Window shutters.
4. Awning with metal supports.
5. Wood corbels.



IMPLEMENTATION PLAN

I. Short Term:

Lot: determine access for automobile; size of garage; setback requirements; location of garage.

Unit: Character of house; size; stories; budget.

Style: California Bungalow, Spanish Mediterrean , New England farm house, etc.

Details: Front facade - entry; porch; stairs; window treatment; color and texture; sun protection; landscape design.

Construction: Clearing of property; selection of an architect.

II. Mid-term:

Street Character: Collective image of residences with a detailed richness

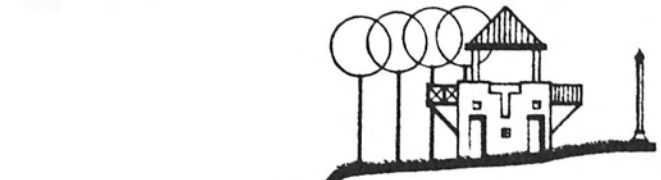
III. Long Term:

Neighborhood Identity:

Development of a Mountain View residential character through unique lighting, signage, landscape, monuments and paving, etc.

District Identity:

Promotion of a strong business district along Adams Avenue; articulation of gateway streets at overpass I-805 and I-15; development of appropriate landscape heirarchies for the entire circulation system within the district.



TECHNICAL
INFORMATION

INTRODUCTION

The following is intended to assist fire victims with the immediate task of rebuilding. The "ABC's" of rebuilding includes: building options, a rebuilding "flow chart", phone numbers and contacts of various agencies, and technical data.

THE "ABC'S" OF REBUILDING

As seen on the rebuilding process chart, 3 options exist for replacing burned homes, they are: rebuilding, remodeling, & move-on. Below is a chronological list of tasks required for each option. Refer to the appendix for contacts for each task:

Option 1

Rebuild: (New construction)

A. Choose Design Services:

1. Architect (A.I.A.)
2. Building Designer
3. Contractor (B.I.A., B.C.A.)
4. Owner/Builder (Owner does own work)

B. Choose Financing Options:

1. Fire Insurance Settlement
2. Government Emergency Loan (Contact Red Cross)
3. Private Lender (Will need to approve drawings)

C. Reconstruction Tasks:

1. Demolish existing structure and clear site (Permit required).
2. Design and prepare drawings for new structure. (see City Regulations in this Section)
3. Obtain soils report.
4. Submit to City Plan Check for Building permit.
5. Select contractors for bidding. Contact State Licensing Board & B.I.A., B.C.A. for qualifications. Obtain at least four bids.
6. Begin construction. Completion time will vary, usually 6-9 months.

Option 2

Remodel: (Repair Damage)

A. Choose Design Services

1. Architect (A.I.A)
2. Building Designer
3. Contractor (B.I.A., B.C.A.)
4. Owner/Builder (Owner does own work)
5. Select moving contractor as well as contractor for foundation work per Option 1.
6. Construction time should be considerably less than Option 1.

B. Choose Financing Options

1. Fire Insurance Settlement
2. Government Emergency Loan (Contact Red Cross)
3. Private Lender (Will need to approve drawings)

C. Reconstruction Tasks:

1. Demolish existing damaged portion structure and clear site as required. (Permit required)
2. Design and prepare drawings for new structure. (See City Regulations in this Section)
3. Obtain soils report.
4. Submit to City Plan Check for Building Permit.
5. Select Contractors for bidding. Contact State Licensing Board and B.I.A., B.C.A. for qualifications. Obtain at least four bids.
6. Construction time should be considerably less than Option 1.

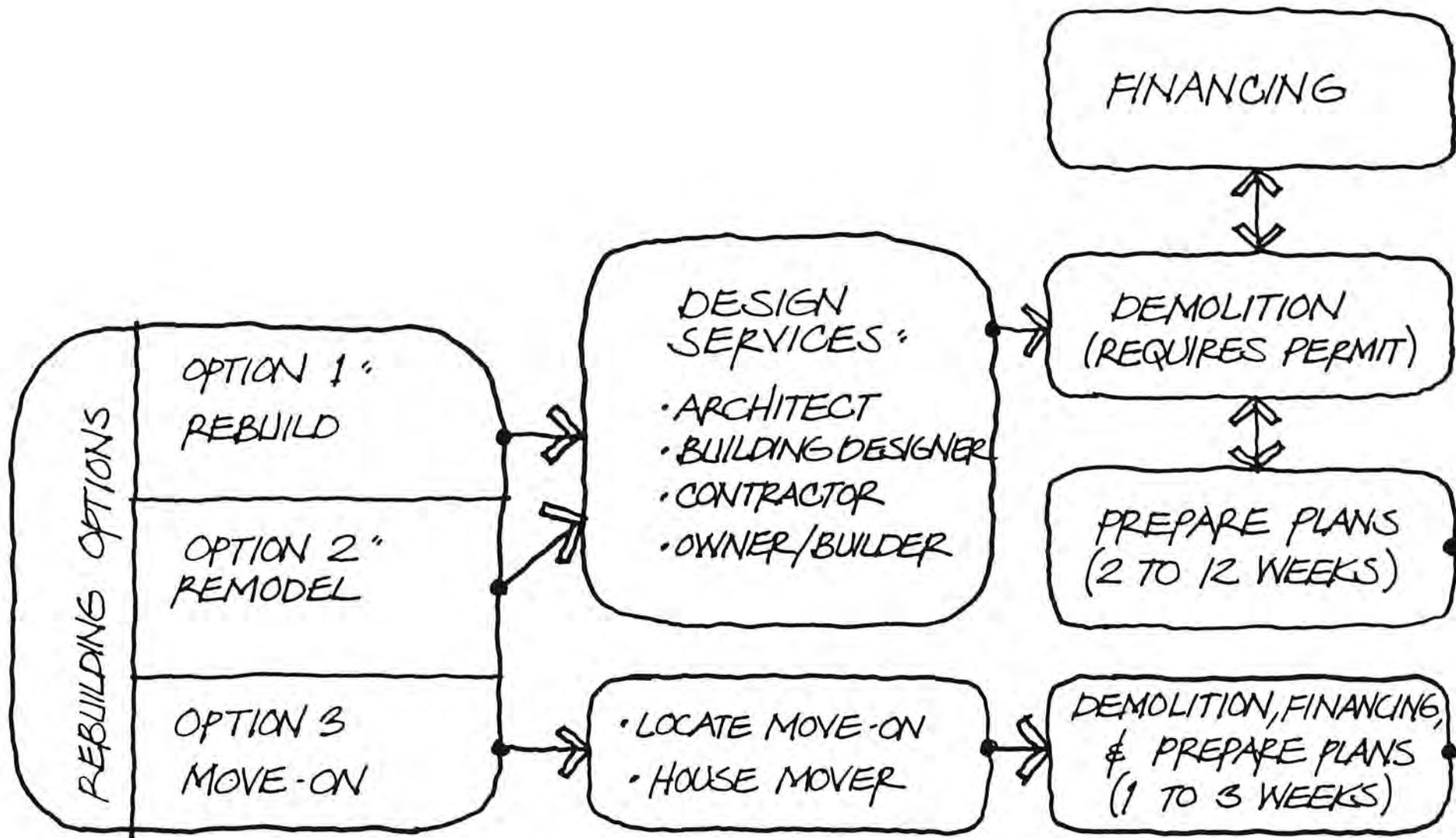
Option 3

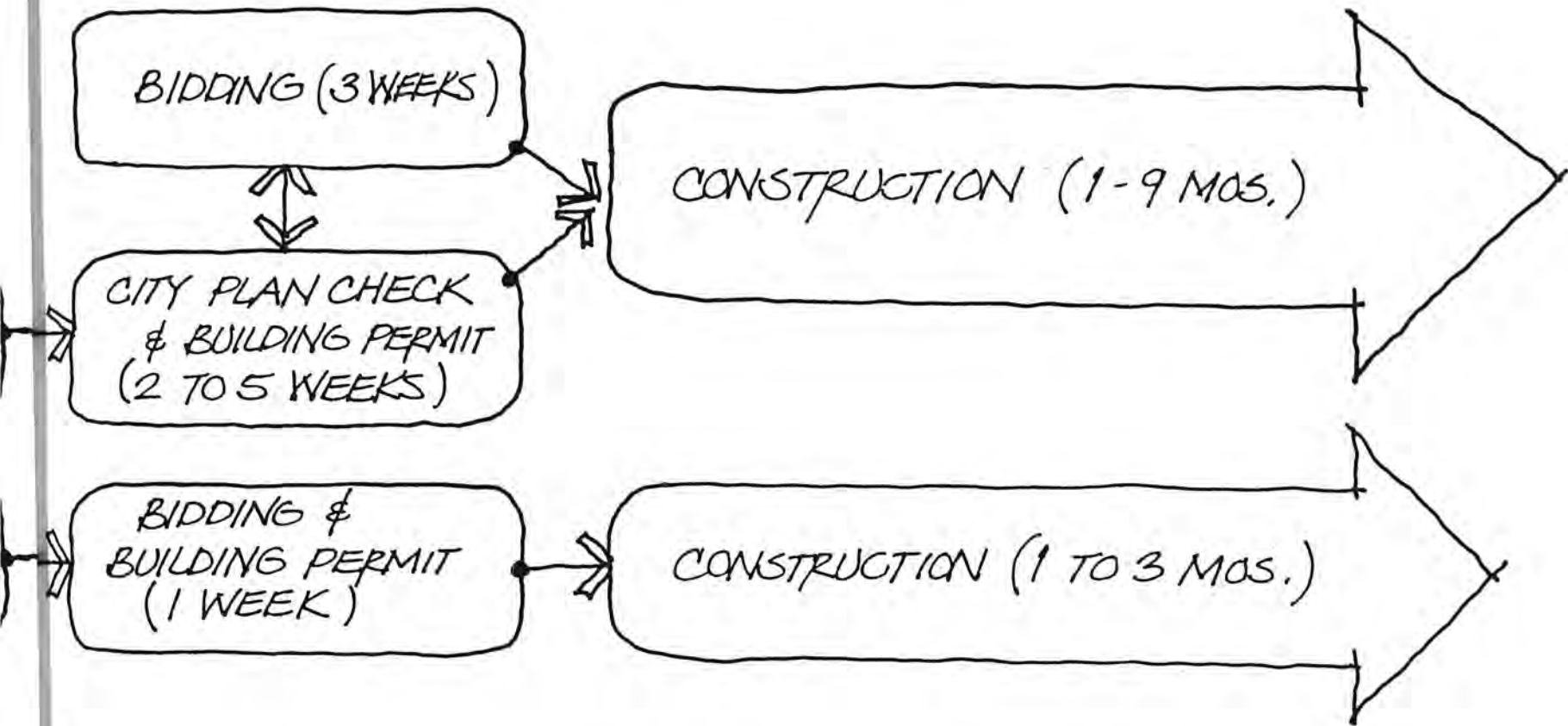
Move On: (Purchase Home for Relocation)

- A. Choose Design Services
A minimal set of drawings is required by the City to show the existing house. Also some remodeling may be required.
 - 1. Architect (A.I.A.)
 - 2. Building Designer
 - 3. Contractor (B.I.A., B.C.A.)
 - 4. Owner/Builder (Owner does own work)

- B. Choose Financing Options
 - 1. Fire Insurance Settlement
 - 2. Government Emergency Loan (Contact Red Cross)
 - 3. Private Lender (Will need to approve drawings)

- C. Reconstruction Tasks:
 - 1. Demolish existing structure and clear site. (Permit required)
 - 2. Design & prepare drawings of existing house and foundation plan. contact Cal Trans for possible available move-ons.
 - 3. Obtain soils report.
 - 4. Submit to City Plan Check for Building Permit.

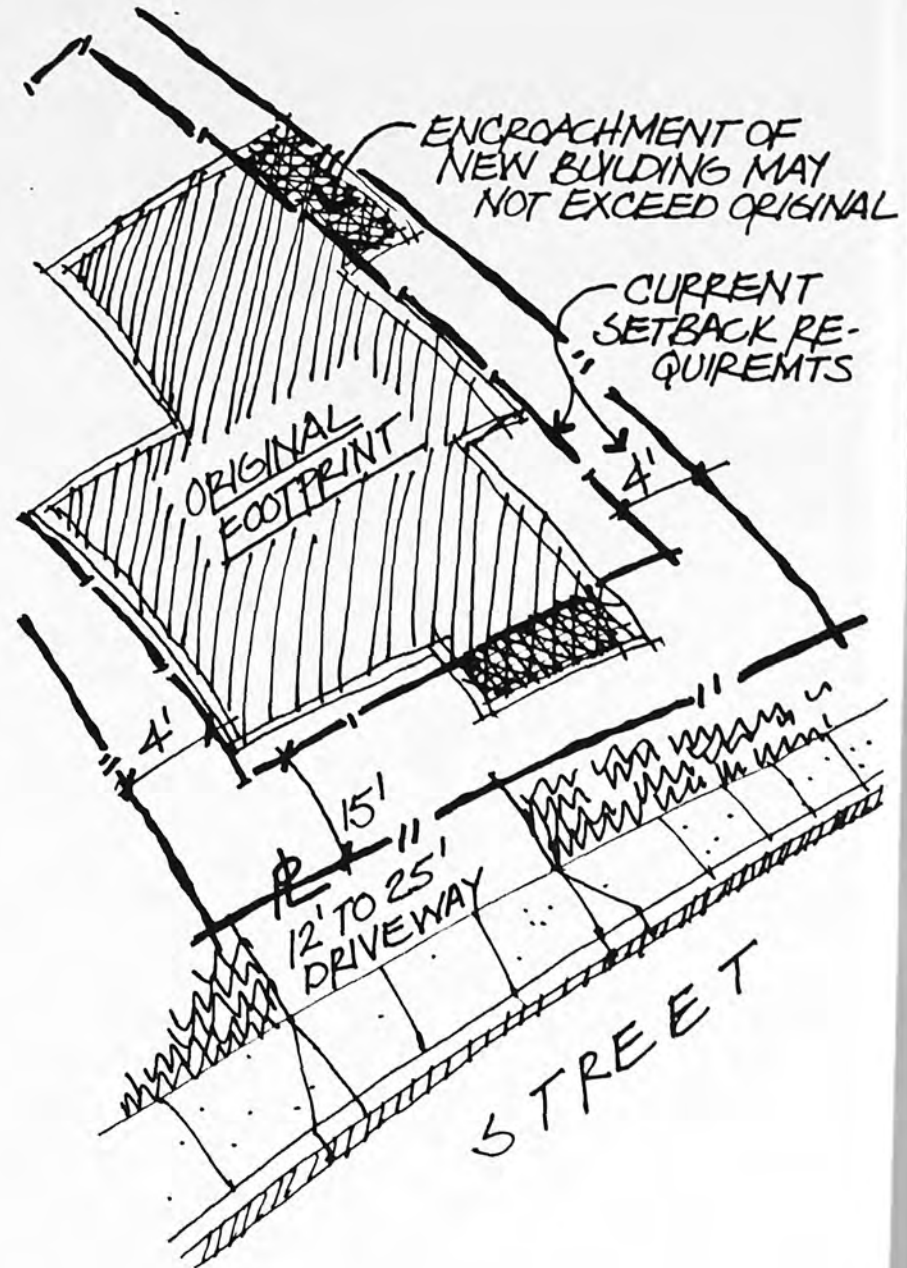




REBUILDING PROCESS CHART

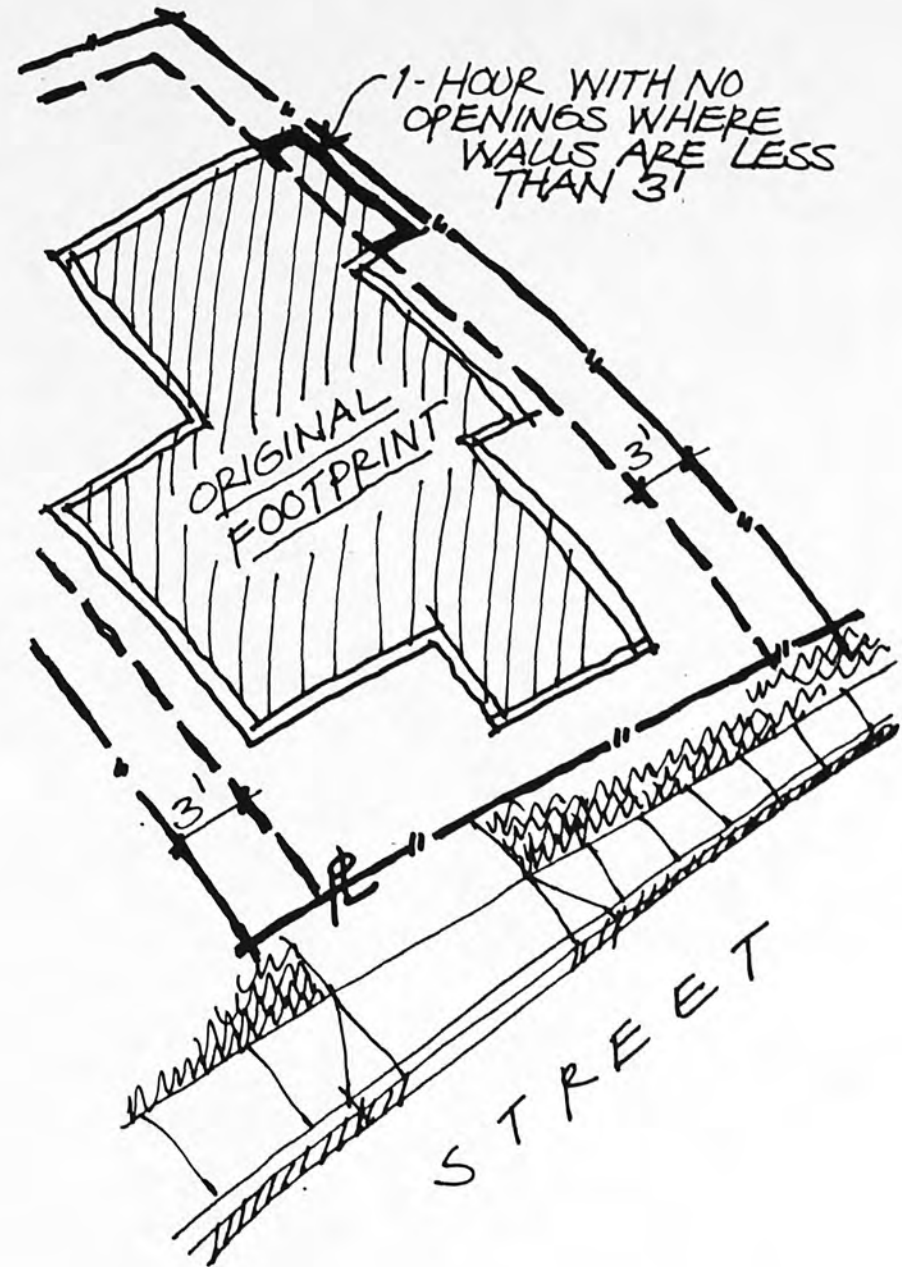
City Zoning Regulations

1. The City Council passed an emergency ordinance on July 8, 1985 refusing new multi-family housing in the Normal Heights fire area for a one-year period. Single family homes may be rebuilt not conforming to current zoning regulations, provided that the portion that doesn't conform does not exceed the destroyed structure's footprint. (See diagram)
2. 30' maximum allowable height. (Approx. 2 Stories)
3. Floor Area Ratio:
Floor Area of House divided by the Lot Area not to exceed .60 (exception: if original structure exceeds .60).



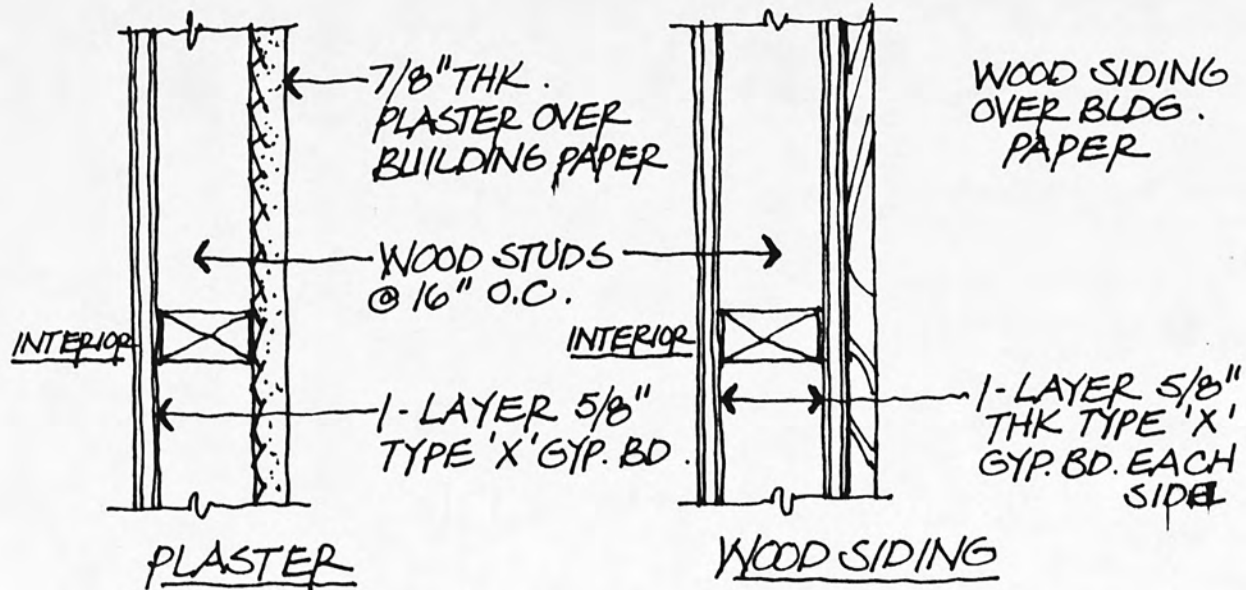
City Building Department Regulations

1. Walls less than 3' from property lines must be rated 1-hour and may not contain openings (1982 U.B.C.) (See Diagram)
2. Roof Eaves can be no closer than 30" to property lines in walls where openings are allowed.
3. A soils report is required for new footings on each lot.
4. Maximum 3 stories allowed. (30' maximum by Zoning Dept.)
5. New homes must conform to current Title 24 energy requirements.



Fire Wall Details

Shown at right are two typical wall details for those walls less than 3' from a property line.



TYPICAL 1-HOUR RATED WALL ASSEMBLIES

Appendix

1. Design Services:

- Architects/American Institute of Architects (232-0109)
- Soils Engineers / Soils and Foundation Engineers Association (714-859-0294)
- Civil, Mechanical, and Structural Engineers / Consulting Engineers Association of California (415-344-5782)
- Title 24, Passive Solar / State of California Title 24 Energy Commission (916-324-3000)
- Landscape Architects / American Society of Landscape Architects Members (Yellow pages)
- Testing Engineers / American Society for Testing and Materials (222-8641)
- Volunteer Professionals to Normal Heights Residents / Dan Conway (231-9400 ext. 316)

2. Utilities:

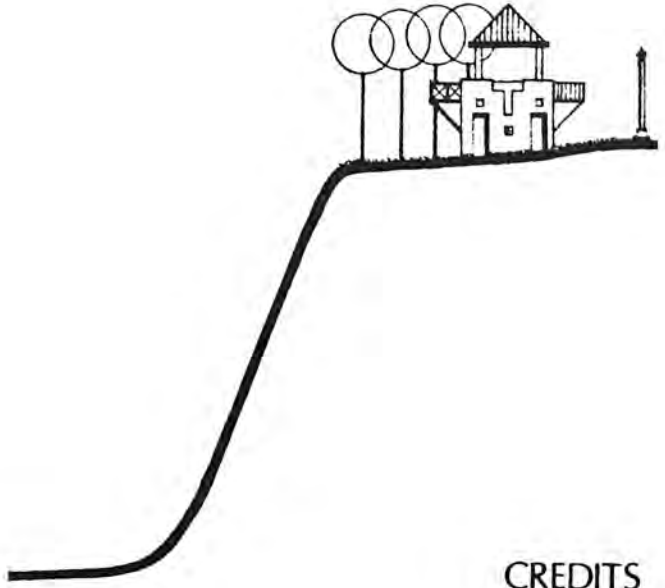
- SDG&E (239-7511)
- Pacific Bell (695-5111)
- Cox Cable (262-1122)
- City Water (236-5600)
- City Sewer (236-6390)

3. City, County, and State Agencies:

- Cal Trans (Move-ons) (237-6919)
- City Emergency Assistance - Bill Wolf (236-6876)
- City Building Department: Relocation and Demolition (236-6270) Structural (236-6270)
- City Zoning (236-6490)
- City Utilities (236-6460)
- City Engineers (236-6000)
- County Assessor (236-3105)
- Contractor's State Licensing Board (237-7417)

4. Trade Organizations

- Building Industry Association (450-1221)



CREDITS

Special Note:

It is very important to acknowledge the following individuals who devoted their valuable time before and after the Design Charrette. They are: Michael Wilkes, A.I.A., William Ferguson, A.I.A., and Donnalee Deffenbach of the San Diego Chapter of the American Institute of Architects.

FUNDING SPONSOR

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Gary Weber, A.P.A.

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Jon Segal

LOGO DESIGN

Joseph Martinez

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Jose Andres Zapata

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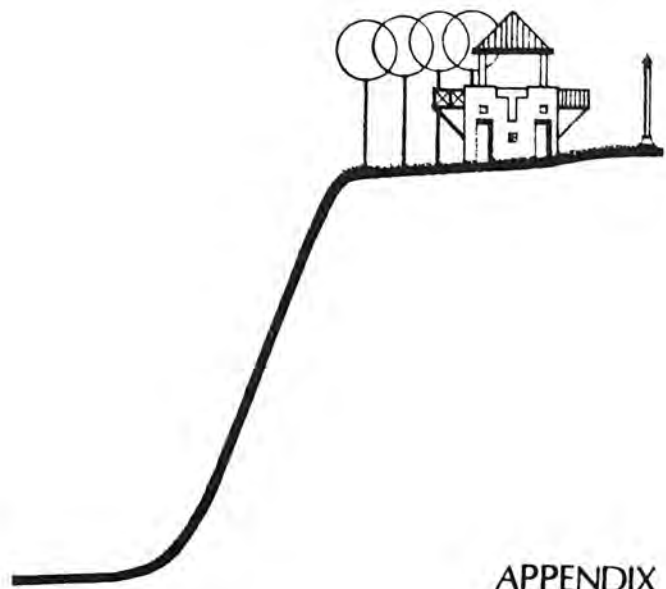
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Andy Spurlock
Robert Thiele
Ruth Fajarit
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Alejandra Garcia
Martin Yip

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Art Balourdes
Sue Skala
Jose Alberdi
John Linton
Debbie Heath

IV. TECHNICAL INFORMATION

Bill Karrasch, Group Leader
Andrew Rodrigues
Aurora Walker



APPENDIX

WHO TO CALL

Abandoned Vehicles - Investigator	262-1300
Abandoned Vehicles - Off-Street	236-6751
Abandoned Vehicles - On-Street	236-6566
Arson Investigation	236-6815
Benches (Private)	236-7845/236-6000
Bike Routes	236-5495
Building Relocation & Demolition Info.	236-5545
Bus Benches	236-5794
Buses (San Diego Transit)	233-3004
Business Licenses	236-6173
Business Licenses (Police Regulated)	236-6119
Community Plans - Planning	236-6417
County Government Reference Library	236-2760
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Crime Prevention	236-6821
Crosswalks - Maintenance	236-5656
Crosswalks - New	236-6040
Cultural & Art Activities	236-5984
Curb Maintenance - City	236-5656
Curb Maintenance - County	565-5251
Dead Animals - City Streets	236-5660
Drainage - City Property	236-5656
Drainage - Private Property	236-6940
Driveway Permits	236-6000
Dumping - Illegal Dump Sites (City)	236-6751
Economic Development Project - Economic Grants	236-6039
Electrical Maintenance - Parks & Recreation Lighting (Outdoors), Primary Electrical (Outside Meter) Traffic Signals & Streetlights	236-5505
Encroachment Permits	236-7845/236-6000
Exhibits & Special Events Permits	236-6495
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Garbage (Information)	236-5660
Gas & Electric Co. - Emergency	234-6234
Gas & Electric Co. - General	232-4252
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Information (City Info. Center)	236-5555
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Land Development - Utilities, Undergrounding	236-5559
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Litter Control - Vacant Lots	236-6751
Maintenance Districts	236-6896
New Construction - Inspection & Plan Check	236-6495
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Open Space - Operation and Maintenance	236-5544
Ordinances	236-6420
Park & Recreation Information	236-5740
Park Development	236-6059
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Permits - Private Construction - Electrical	236-6971
Permits - Private Construction - Plmb. & Mech.	236-6971
Permits - Private Construction - Signs	236-6027
Police - Central	236-6044
Police - General Information	236-6731
Police - Public Information Officer	236-6424
Pollution - Air	565-5901
Pollution - Litter	236-6751
Pollution - Noise	236-6088
Pollution - Water (Drinking)	236-5600
Pollution - Water (Other)	286-5114
Product & Materials Approvals	236-5891
Public Information Office	236-5554
Public Library Information (Central)	236-5800
Real Estate Information (City-owned)	236-6020
Records - As Built Records	236-6867
Records - Building Construction	236-6934
Records - City Clerk	236-6420
Records - Utilities Maps & Records	236-5650
Records - Zoning	236-6485
Recycling Centers - San Diego Ecology Center	235-0066
Refuse Collection - General	236-5660
Refuse Collection - Special Collection	232-0180
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Senior Citizen Information	236-5765
Sewer Repair	236-5600
Sidewalk Maintenance - City	236-6000/236-5656
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Streetlight Maintenance - City	236-5310/236-5505
Streetlight Maintenance - County	565-5233
Street Name Signs - City	236-5656
Street Repairs - City	236-5656
Street Repairs - County	565-5251
Street Signs (Illuminated)	236-5505
Street Sweeping - City	236-7063/236-5656
Street Sweeping - County	565-5251

Street Trash Receptacles Location	232-0180
Street Tree Planting	236-5744
Third District (Gloria D. McColl)	236-6633
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Crosswalks, Signals, Signs	236-6040
Traffic Signal Maintenance - City	236-5505
Traffic Signal Maintenance - County	236-6514/236-5505
Traffic Signal Maintenance - Caltrans	237-6842
Traffic Signs/Markings	236-7014
Transportation & Traffic:	
Bicycle Route Analysis	236-5495
Drainage Design	236-6940
Local Street Design	236-6941
Major Street Design	236-6037
Signal & Light Design	236-5417
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Traffic Signal Location	236-6064
Trash - Customer Service	236-5660
Trash - General Information	236-6711
Trash Receptacle Location	232-0180
Tree Maint., Removel, Trimming - City Prop.	236-5744
Underground Service Alert of So. Calif.	1-800-422-4133
Underground Locating - Utilities (Gas & Eelctric)	
Underground Locating - Streetlights and Traffic Signals (City)	236-5505
Water & Sewer - Emergencies	236-5600
Water & Sewer - Turn-on, Shut-Off	236-6380
Weeds	236-6495
Zoning Information - Planning	236-6490



TO FIRE VICTIMS & NORMAL HEIGHTS RESIDENTS

We need your ideas.

The local chapter of the American Institute of Architects in cooperation with the Normal Heights Community Development Corp. is sponsoring a 3-day workshop to help develop guidelines for the rebuilding of the neighborhood.

An integral part of this workshop is the community's input to assist design professionals in developing these guidelines.

Your participation here is essential.

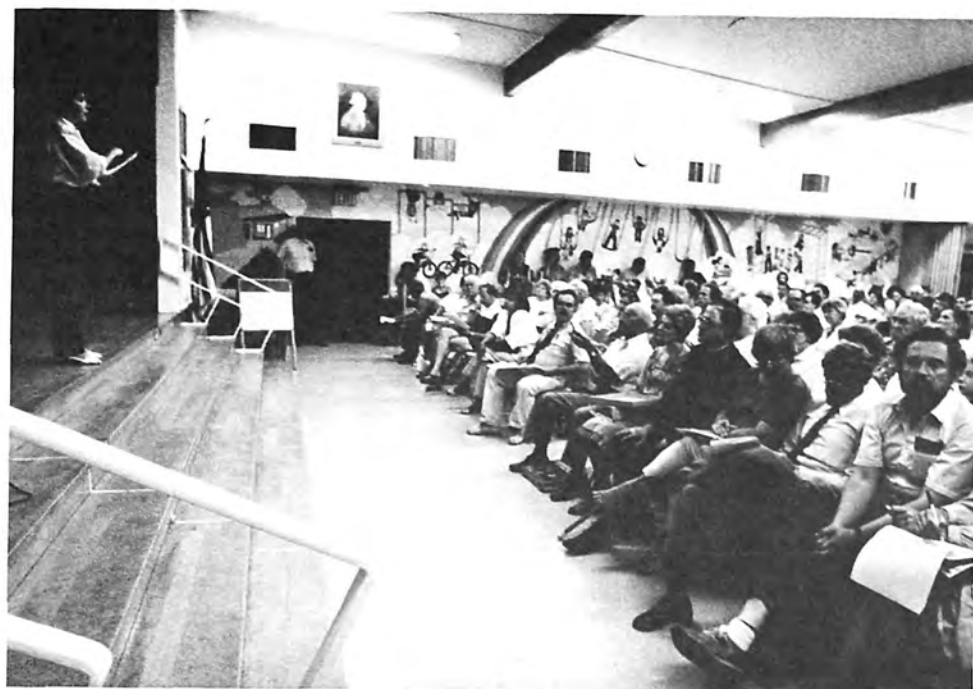
Please plan on joining the community input session on

**FRIDAY, JULY 12 AT 8:00 P.M.
ST. DIDACUS SCHOOL AUDITORIUM
4630 34th STREET, NORMAL HEIGHTS**

For more information, contact

**Donalee Déffenbach
Executive Director, San Diego Chapter, AIA**

232-0109



COMMUNITY WORKSHOP JULY 12, 1985

To Assist Fire Victims

AIA Design Conference Scheduled On Normal Heights

By BILL B. BURRIS

San Diego Daily Transcript Real Estate Editor

The San Diego chapter of the American Institute of Architects — in conjunction with the San Diego Architectural Foundation, the Normal Heights Community Development Corp. and the Normal Heights Community Association — has scheduled a community conference and design charette this weekend to aid victims of the Normal Heights fire in restoring their homes to meet current structural and safety requirements.

A Community Design Assistance Team, being formed to conduct the three-day community service project and related follow-up activity, is headed by Architect Joseph P. Martinez of Martinez-Wong & Associates, representing the AIA; Gary Webber, a planning consultant who supervised development of the Normal Heights segment of the Mid-City Community Plan; and Mike Stepner, an assistant city planner representing city government.

Martinez' parents, Mr. and Mrs. Joseph C. Martinez, lost their home at 3363 N. Mountain View Drive in the June 30 fire that destroyed or damaged more than 70 homes in the Normal Heights area.

Martinez said 35 AIA-member architects already have volunteered to assist in the three-day project, including 14 who will be participating in the Saturday and Sunday design charette to produce a booklet of recommendations and

designs of the types of homes that could be constructed in keeping with the character of the community.

Others will be assisting with research and resources for the project, photography and documentation, development of guidelines to be developed from the charette, follow-up committee work, and budget and funding activities. The booklet of recommendations for redevelopment in the area to result from the weekend's activity is to be printed and distributed by the San Diego Planning Department.

Architects and professional planners involved in the project are to meet Friday evening for background information then will participate with the fire victims and other residents of the community in an 8 p.m. public forum at Adams Elementary School at 4672 35th Street. Councilwoman Gloria McCall, in whose district the fire was located, will be among civic officials speaking and participating.

The design charette will be held Saturday and Sunday in the auditorium at St. Didacus School at 4630 34th St. A public presentation of the designs, suggestions and recommendations to come out of that activity will be presented at a public meeting at a time to be announced.

Martinez said a wide range of potential problems are to be considered by the Community Design Assistance Team in an effort to assist the fire victims, many of

(Continued on Page 3B)

Normal Heights Fire Victims Get AIA Recommendations

By **BILL B. BURRIS**

San Diego Daily Transcript Real Estate Editor

Members of the San Diego chapter of the American Institute of Architects volunteered more than 1,000 manhours last weekend to an architectural design charette to help victims of the Normal Heights fire.

The exercise was designed to to prepare victims of the fire, which destroyed more than 60 homes and caused more than \$8.5 million in damage, to start planning to rebuild homes that will incorporate the architectural styles of remaining homes in the community and that may be more serviceable than the originals while still meeting present building codes.

Recommendations coming from the charette are being published. Copies are to be presented to the City Council on July 30 and will be mailed to known current addresses of the fire victims and distributed through community organizations in the Normal Heights area.

Architects from the AIA chapter attended an evening community discussion session with fire victims last Friday then worked in four groups in developing recommendations that were presented in a 4 p.m. Sunday report session.

Recommendations, illustrated by numerous drawings, were mounted on "butcher's paper" that stretched around three walls of the St. Didacus School auditorium and served as a moving focal point for the charette teams' presentations to the fire victims and community representatives.

City Councilman Gloria McCall

joined the fire victims in expressing appreciation to the architects and assisting city planning officials for their efforts in setting the stage for rebuilding of the neighborhood and providing an insight into current building requirements and procedures required for rebuilding.

The city is to provide expedited processing of plans for the replacement homes and the county is to extend previous low-rate property taxes to the new structures providing they are not considerably larger than the homes they replace.

Architect Joe Martinez, who headed the three-day volunteer exercise, said many of the burned homes had been small (900 to 1,200 square feet), built on lot lines (which no longer is permitted) and had single garages built on the back of long, narrow lots which no longer are adequate for two-car families and larger cars.

The four study and design teams covered landscape guidelines (including bluff protection, erosion control and fire prevention), technical expertise, land use planning and architectural guidelines.

The land use planning group, under the direction of Garn Weber, evaluated the housing damage, fire hydrant placement, feasibility of undergrounding of utilities and potential future park sites for the area.

Consensus of the fire victims appeared to be that they would like to see utilities underground if some-

(Continued on Page 3B)

47 Homes Razed in San Diego Fire

Normal Heights Damage in Millions as Inferno Blazes a Mile-Long Path

By SCOTT HARRIS, Times Staff Writer

A fire primed by San Diego's hottest weather of the year roared out of a steep, brush-covered canyon Sunday and burned a path of devastation through the handsome, older neighborhood of Normal Heights, destroying 47 homes, damaging about 15 others and forcing the evacuation of hundreds of residents.

The blaze, which authorities called the most destructive in the city's history, was battled by more than 400 firefighters from 11:54 a.m. until well past nightfall. As midnight neared, Fire Department officials said the blaze had been 95% contained.

Firefighters and police were planning to remain on the scene late into the night, wary that hot spots might touch off more blazes.

Logan Bellows, a San Diego Fire Department spokesman, said it was "the worst grass (and) structure fire in the history of San Diego." Police Chief Bill Kolender called it "the worst we've had in modern times."

Injuries Mostly Minor

There were no deaths, and the 24 injuries reported—heat exhaustion, smoke inhalation and cinders in eyes—were described as largely minor. Several firefighters and residents who tried to fight the flames themselves were treated at first aid stations for exhaustion, first- and second-degree burns and eye irritation.

At least five persons, including two infants suffering from smoke inhalation, were taken by ambulance to area hospitals, where they were treated and released, authorities said.

With property damages initially estimated by the county's Emergency Management Office at \$5.3 million and expected to climb much higher, city officials called on Gov. George Deukmejian to declare a state of emergency in the fire area—a move that would enable property owners to get low-interest

loans to rebuild and repair their homes. The governor's office was not expected to make a response until today or later this week.

Many of the people left homeless in the one-mile by ½-mile fire-plagued area gathered in an evacuation center set up at the Normal Heights United Methodist Church. The story told by Martha Brewer, who lost her home on Cliff Place, was not unusual.

"I ran out back to open the gate so that firemen could get in. Then we had to leave," Brewer said. She pointed to the housecoat she was wearing: "We only have the things on our back."

On a day in which temperatures reached 96 degrees—the hottest June 30th on record by 12 degrees—firefighters from San Diego, Imperial, Riverside and Orange counties were called in to battle the blaze. They used more than 90 mobile fire units.

The San Diego County Fire Department also called in its off-duty firefighters for the first time since the September, 1978, PSA airliner crash and fire that killed 147 people and destroyed 16 homes.

Two air tankers from Ventura County made six passes over the fire, dumping thousands of gallons of a chemical fire retardant in the canyons to slow the blaze.

Capt. Larry Carlson of Metro Arson Strike Team said investigators have no idea what caused the blaze. He said the investigation will take at least one or two days.

From the start, firefighters were hampered by the heat and a shifting breeze that was made more turbulent by the fire itself. By the time the first fire trucks arrived at 11:54 a.m., the flames had already leaped out of the canyon and engulfed several homes, Fire Department spokesman Larry Stewart said.

Authorities said the nature of Normal Heights itself—a community of homes on the plateau overlooking Mission Valley, southeast

of the crossing of the I-8 and I-805 freeways—made the blaze more difficult to fight.

The plateau is broken by several smaller finger canyons with steep canyon walls that "acted like a chimney" for the flames, one official said. The homes, many of which are 40 years old and have combustible shake shingle roofs,

are particularly vulnerable to fire, officials said.

Stewart said the combination of the hot weather, the fire and the canyons resulted in a "firestorm" effect. The breeze "gets more turbulent as the fire inhales the oxygen," Stewart explained.

"The fire started jumping from canyon to canyon. Once we got one knocked down, it seemed to have spread to another spot and another," he said.

Their effort to control the fire was also hampered for hours by low water pressure on the plateau—a problem compounded by the fact that scores of residents had turned on garden hoses to wet down their homes.

Firefighters and police officials kept urging residents to turn off their hoses. One resident said he decided to turn off his hose only after a police officer drew a pistol and pointed it at him.

More than 150 policemen were called out to cordon off the area and prevent looting, but as of nightfall there had been no reports of vandalism.

Traffic slowed on Interstate 8 between the Texas Street and 40th Street exits, where motorists could see flames licking the canyon walls close to the freeway, and houses burning high on the rim of the canyon.

Some observers likened the scene of the fire to a war zone. In some places, rows of homes were burned to the ground, while an occasional home seemed un-

touched. In other places, the neat rows of standing homes were broken by the blackened shell of a neighboring structure.

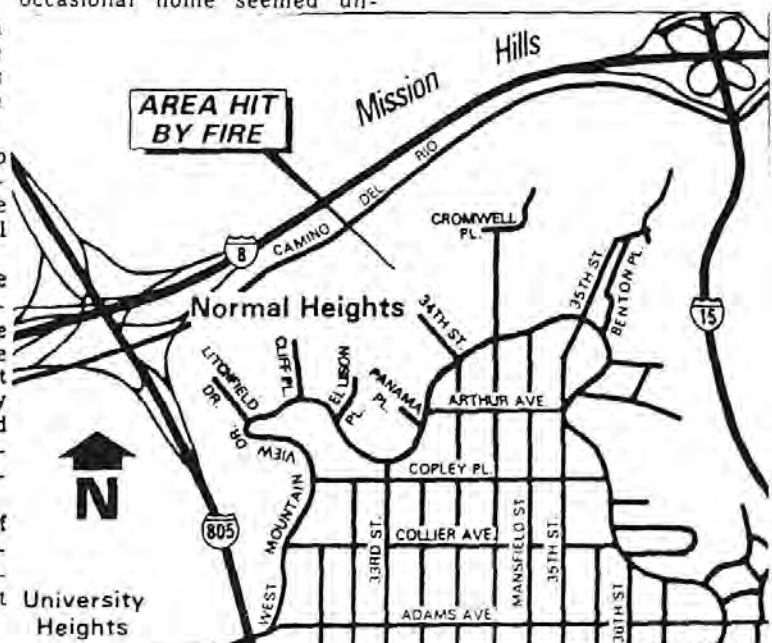
Hundreds of persons evacuated the neighborhood, piling their possessions into cars and trucks or simply moving their furniture into the street. Dazed residents, some holding wet handkerchiefs to their faces against the smoke, watched helplessly as firefighters poured water on the remaining hot spots.

One homeowner standing on a corner asked a reporter whose press credentials allowed him to cross police lines to see if his house, only six doors away, was safe. The reporter was able to see that one of the homes three doors away was aflame, but the thick smoke prevented him from looking farther.

Later in the afternoon, several residents who had been forced to evacuate made their way back to their homes only to find just a foundation and a chimney.

Late into the night, many residents still were uncertain whether they had homes to return to, or whether they would be able to reclaim household articles and mementos collected during the more than 40 years many have lived in the neighborhood.

Fire officials said homes were destroyed on East Mountain View Drive, Cliff Place, on 34th Street, on Ellison Place, on Litchfield Road, on Hawley Boulevard, on Cromwell Place and on Panama Place.



Victims have yet to feel the full impact of Sunday's big fire

By Diane Lindquist, Staff Writer

Alberta Richter got out of the car, looked at the charred remains of the Cromwell Court canyon-rim home her husband, George, designed in 1951 and built the following year, and said:

"It's sinking in today. I'm still in shock."

The Richters' house was one of the last consumed in Sunday's Normal Heights fire. Ordered out at a moment's notice, they learned it was gone when they watched it burn on television.

Yesterday they were among many victims trying to determine what to do.

The Richters had spent an hour getting the phone disconnected only to learn later that a hookup had been made available at the house for the man hired to guard their few remains. They had to feed their cat, Gatta. And they were trying to determine whether to put fused filing cabinets into storage.

The couple, both in their 70s, do not know if they will rebuild.

"We haven't decided what to do yet," Alberta said. "There are too many other details to take care of now."

In the devastated area beyond the police barricades, people were scurrying in the hot sun trying to take care of the first concerns.

Insurance adjusters carrying clipboards were out in force assessing the damage. Teams of workers from San Diego Gas & Electric, Pacific Bell and Cox Cable were capping lines to destroyed houses and restoring service to those spared.

Randy Gallegos, an adjuster with Unigard, said he had examined three or four houses in the area that were total losses and three or four that were partially gone.

San Diego police and Red Cross officials yesterday said 64 homes were destroyed, 20 seriously damaged but salvageable, and 18 additional structures were demolished. They counted 18 vehicles lost.

Total property damage was put at \$8,598,650, not including such losses as the contents of homes.

"It's obvious whether they are a

total loss," Gallegos said, turning toward the skeleton of the Richters' house. "This one here, there's nothing sound there that they can save."

Many insureds have been given advances on future settlements to provide for immediate needs, he said. Claims might be settled as soon as a week to 10 days.

"I think we're moving faster than most of the victims are ready for," he said. "If he (Richter) moves quick enough, he could have this place ready to be started on within 30 days."

But many victims have not yet grasped the gravity of their situation, he said. It will be days, even weeks and months before people will recall all the items that the fire took from them.

San Diego County Mental Health Services staffers have been handing out yellow cards throughout the area with a number to call for counseling.

"We haven't had a huge onslaught of calls yet," said Marilyn O'Hair, chief of community services. "Along toward the end of next week when they get the initial concerns out of the way, they are going to need our help."

Anger is often the first reaction, she said. Some people feel victimized and helpless. These are normal people who are trying to deal with an abnormal situation, she said.

"They need help sorting out," she said. "They need to know what to deal with now, what they need to do first. Eventually there will be grief over the loss. They need to talk about it and experience the loss with someone who can listen."

Besides offering counseling, the health services center will help people set their priorities and will offer assistance in filling out forms and arranging for loans.

The agency also has representatives at the emergency center at the Normal Heights United Methodist Church.

"Eventually it's going to hit and it's going to hit hard," said consultant Richard Archer. "All the memories, all the heirlooms are gone, and they need to talk to someone about that."

The center, too, has not been visited by as many victims as it is ready to serve.

"Encourage people to come in and check in with us," said the Rev. Dan Smitha, pastor of the church. "We have the staff, the expertise and the know-how to make things go faster."

One large room was filled with row upon row of donated clothing stacked on donated shelves. Pots and pans were stacked in another area. The kitchen was stuffed with

loaves of bread, foodstuffs and canned goods.

Volunteers have made up packets of toiletries. Items overflowed into the halls. A pretty rag doll awaited a child's love.

"The response has been incredible. It's amazing," said Al Denison, who was directing the Red Cross volunteers.

The Salvation Army soon will pick up much of the goods, he said, and those seeking help will be given vouchers that can be used there at any time in the future.

"We're telling people to stop coming over here with donations. What we need is for people to come over and get it," Denison said.

Laurie Freeman, however, said more kitchen goods, toiletries and blankets are needed and volunteers could be used to sort and fold the mounds of donated clothing.

At the nearby police command post, Lt. Curt Muro said the area

between West Mountain View and East Mountain View drives, Copley Avenue and the canyon rim above Interstate 8, will remain closed to all unauthorized persons until at least early Friday.

"It's not fair to have a world of people coming through," said Muro. "This will give the residents an opportunity to sort through their possessions with the least amount of intrusion on their privacy."

Yesterday was the first opportunity for some to get to the gritty work of sifting through possessions. Even those whose homes were not burned were trying to assess the smoke damage to rugs, furniture and curtains.

In the mid-day heat, two men were working in what had been the master bedroom of a home along Hawley Boulevard. They picked up bits of white ash and put them through a screen in search of rare coins and a diamond ring.

"We've had about 15 calls so far and today we've already had more coming in," said Rex Zeigler of Servicemaster, a company specializing in restoring homes damaged by fire. Crews were working at other homes in the neighborhood.

At one corner, a Salvation Army volunteer was serving cold lemonade to residents, police, firemen and workers.

Firefighters were maintaining apparatus for 48 hours to deal with possible flareups. The California Conservation Corps was examining the damage to determine what help it could offer in clearing the area.

City building inspectors were going from house to house to see if any building left standing presents a hazard to those cleaning up the debris. If there is a danger, said Nicholas Haluskey, warnings will be posted.

"Most of it is so completely demolished that there are few that present a hazard," he said.

See VICTIMS on Page B-4

FIRESTORM: CALIFORNIA TRAGEDY

Normal Heights fire victims prove difficult to track down

By John Furey
Tribune Staff Writer

City and Red Cross officials are having an unexpectedly difficult time contacting victims of Sunday's devastating 600-acre fire that destroyed or damaged 84 homes in Normal Heights.

The contact is important, they say, in order to speed up victim relief and cleanup efforts, which could begin as early as Friday.

"We're working vigorously to have the California Conservation Corps ready to go Friday," said Bill Wolf, the city's emergency management coordinator. "But we cannot do it unless we have the property owner's approval."

Wolf said his office is coordinating the cleanup efforts in conjunction with the offices of Mayor Hedgecock and City Councilwoman Gloria McColl, whose district was marred by the worst residential fire in the city's history.

Red Cross officials also are working hard to contact fire victims, many of whom have been staying with relatives and friends.

"Usually, it isn't this slow," Red Cross worker Pat Sutton said of the efforts to locate victims. "The weather, the heat and age of many victims probably is having an effect."

Sutton said that only about 10 percent of the fire victims had contacted the Red Cross, which has set up a disaster center at the Normal Heights United Methodist Church, 4650 Mansfield St.

Meanwhile, authorities continued their search today for the cause of the fire, which destroyed about \$8.5 million worth of property and homes. The damage breakdown included 64 totaled houses, 20 severely damaged homes, 18 additional damaged or destroyed structures such as sheds and garages, and 18 damaged cars, police said.

Fire investigators have interviewed a man who took some photographs of the early stages of the fire, according to spokesman Logan Bellows.

Bellows said the cause of the fire still is listed as incendiary, rather than arson, a fire set willfully with malicious intent.

Investigators also are talking to others, including a California Highway patrolman, who witnessed the blaze shortly after it started about noon in brush near the 3100 block of Camino del Rio South, Fire Department spokesman Denis McNeill said.

A total of \$9,687 in cash donations had been donated to the Red Cross as of this morning, said spokeswoman Doris Unger. She said the money donations should be sent to the Red Cross office at 3650 Fifth Ave., San Diego, 92103.

Red Cross workers at the Methodist church turned away donations of clothes and food yesterday because of the overwhelming response of community members.

They ask that the donations be taken to various Salvation Army centers. A Salvation Army spokesman, Carl Smith, said fire victims with the proper voucher can obtain information on free clothes. Smith said people should call 239-4037 for more information.

With the church overflowing with donations, volunteers worked yesterday to organize the goods in hopes that victims would seek help at the center.

Various stores in San Diego donated plastic and wooden crates to help workers sort clothes and food.

Red Cross workers also helped the few fire victims who came to the center yesterday to fill out forms providing damage assessment information.

Wolf said the information will help city officials seek financial aid through the state Office of Emergency Services. He asked that fire victims call his office at 236-6876.

"We want to know the value of their home, where we can contact them and what insurance they currently have," Wolf said. "Our main goal is to get aid to these people."

Relief officials speculate that many fire victims are getting short-term aid from family, friends or insurance companies.

Anne and Joe Maldonado, for example, visited the center yesterday to fill out information about their recently remodeled house that was destroyed by fire on Litchfield Road.

The Maldonados said they came to the center after hearing through news reports about the need to get information from victims.


The couple has been staying at the home of Joe Maldonado's parents in Mira Mesa, and wearing clothes donated by friends and relatives.

Joe Maldonado said an insurance adjuster came to their home site on Monday and wrote them a check for \$10,000 to help them in their adjustment.

He declined financial help or donations from the Red Cross, suggesting that it be used for those more in need.

The San Diego Union

Page B-6

 A Copley Newspaper

Wednesday, July 3, 1985

Aftermath

Large cities seem susceptible sometimes to large tragedies. Sunday's conflagration, which consumed more than 60 homes in Normal Heights, is another grim reminder of San Diego's new metropolitan status. Such destructive residential fires have become almost commonplace in Los Angeles.

Seven years ago, San Diegans were stunned by the collision of two aircraft that strewed a North Park neighborhood with fiery death and destruction. This horror led to more stringent controls over the city's air space as well as a task force to find a more suitable location for Lindbergh Field. And last summer's San Ysidro massacre prompted the city police force to review its procedures in dealing with a crazed killer with hostages.

In the wake of Sunday's devastating fire, there are certain to be numerous inquiries about the capacity of the San Diego Fire Department to deal with more than a localized fire.

Preliminary findings suggest the fire department responded promptly to the flames that raced up the hillside and through the finger canyons from Mission Valley up into Normal Heights. Within an hour, some 400 firefighters, including reinforcements from other departments, and 98 rigs were battling the inferno. Although the water pressure was diminished by residents trying to soak down their homes with garden hoses, that pressure was restored so the firemen could target their efforts on those homes that were savable. There

is considerable second-guessing about their target selections, but such complaints seem unfair, given the fire's magnitude.

But there is no disagreement that the prompt arrival of aerial tankers could have slowed the fire. City officials called the California Department of Forestry for such assistance at 12:59 p.m., but that request was not recorded. Some four hours later, the Forestry Department's regional office in Riverside received another request. Unfortunately, the seven tankers assigned to the Southern California sector were committed to other fires. Two of the planes were dropping fire-retardant chemicals in the Mount Miguel area where thousands of acres were ablaze.

At approximately 6:30 p.m., several tankers finally swooped over Normal Heights and began dropping their loads. By then, however, some 50 homes had burned. One can only speculate how many houses might have been spared had these planes arrived hours sooner.

Two basic questions arise in the aftermath of Sunday's conflagration, which caused more than \$8.5 million worth of damage and left some 200 homeless: How to prevent a recurrence along the heavily populated rims of San Diego's numerous canyons and what can be learned from this disaster that could minimize the damage if a comparable fire occurs?

San Diegans who dwell in canyon areas are commanded anew to clear brush and other flammable materials for at least 30 feet

from their homes and seed with a fire-resistant ground cover such as ivy, ice plant, or perennial grasses. Although the city has a weed-abatement program, canyon properties are generally excluded from the municipal ordinance because of the steep grades and the potential for land erosion once the land is stripped. Yet these properties, overflowing with dry brush and chaparral, are veritable tinder boxes. In fact, the San Diego Fire Department warns that hundreds of homes are endangered because of their proximity to brush-covered canyons.

Similar dangers exist throughout the county. The Mount Miguel fire appears under control, but two major fires flared yesterday in the North County. One menaced Escondido. Another swept through De Luz Canyon and Camp Pendleton.

And finally, the state Office of Emergency Services must ensure that major residential fires receive top priority for aerial tankers. At present, there are 35 of these planes available throughout California. Yet, as Sunday's communication problems demonstrated, there is a compelling requirement for a quicker response time.

Sunday's inferno happened through the awful circumstances of a soaring heat wave, human carelessness, and errors of judgment. We cannot do much about heat waves or occasional errors, but there are still preventive measures that can minimize the worst of our unusual fire hazard. Tragic experience should teach us its lessons well.

The San Diego Union **Governor sees Normal Heights, vows aid**

Thursday, July 4, 1985

By George Flynn
and Lorie Hearn
Staff Writers

Gov. Deukmejian yesterday toured the scene of the \$8.59 million Normal Heights fire that destroyed 64 homes, and he pledged full state assistance and expedition of a request for federal relief.

San Diego officials who accompanied him also promised residents they will see that the character of the neighborhood is retained in the rebuilding process.

Community leaders said they fear developers might push for condominium or apartment projects to replace destroyed homes on the valuable, canyon-view lots.

At a press conference, Normal Heights representatives also sought improvements in neighborhood water pressure — a problem during the fire — and help in efforts to replant burned canyon slopes.

Meanwhile, the American Red Cross had taken in \$28,000 in donations by the end of the workday yesterday for victims of the Sunday fire.

According to Doris Unger, public relations coordinator of the Red Cross' San Diego-Imperial Counties chapter, more than \$19,000 was counted yesterday alone, mostly from city residents who contributed less than \$100 each.

The Red Cross was opening envelopes containing several dollar bills and \$25 checks, Unger said, adding: "It's incredible. It's so thrilling."

One elderly woman on a fixed income called Tuesday and offered to give \$200 if someone would come to her home to pick it up, Unger said.

Unger said she questioned the woman to make sure she could support herself without the money. She said the woman told her: "I don't have anything to spend it on. I've paid all my bills, and I want those fire victims to have it."

Contributions also were trickling in for victims of fires that ravaged homes in other parts of the county over the past several days, Unger said.

According to a list of destroyed and damaged homes compiled in a Red Cross house-to-house count, 95 families were affected by the Normal Heights fire. As of yesterday, more than half of them had registered with the disaster center at Normal Heights United Methodist

Church, Unger said. Of those, 47 had been given assistance and two had registered but not yet requested assistance.

San Diego hotels provided free rooms to 24 people last night, officials said.

Carlan Mickelson, Red Cross volunteer casework supervisor, said time appeared to have eased the shock of the loss for many victims and that more were beginning to feel angry. "They're just angry at the world," she said.

On top of the heat and the wait for assistance at the center, the strain is being felt by families who have been forced together, Mickelson said. Elderly parents are suddenly living with their children. Single parents are having problems coping. Victims are sharing quarters with friends and family, sleeping on couches. In some cases, she said, "it's not working out."

Mickelson said none of the victims she has spoken with who rented homes that were destroyed had renters' insurance. Some homeowners had only mortgage insurance that means their loan balance will be paid off at the bank. Those people have been left with nothing, she said.

The Red Cross offers money for clothing, food and shelter and is helping to locate rental properties.

Deukmejian said his office plans to review the delays in the arrival of aerial tankers to battle the fire. The planes were fighting other brush fires, but should be available for quick response, he said.

"If, under existing procedures, that's not happening, we certainly would want to change that," he said.

Deukmejian has declared the county a disaster area, which opens up limited aid for local governments in the rebuilding process and provides some tax relief for victims.

Mayor Hedgecock, who accompanied the governor, said the city should be able by early next week to provide final documentation of the damage to the state — a requirement before Deukmejian can seek a federal disaster declaration from President Reagan.

"I think we're going to get help all along the way ... from everybody, and hopefully then, by the end of next week, we can know just what we can

offer people," Hedgecock said.

The federal disaster determination would bring a variety of assistance to the victims, including low-interest Small Business Administration loans for rebuilding and housing aid.

Hedgecock also vowed to conduct a thorough review of the firefighting effort.

"We've got to learn from this experience," he said. "I think we were excellent this time, but if there's anything we can do, anything we've learned to make it better next time, I want to do that."

Assemblywoman Lucy Killea and Councilwoman Gloria McColl joined Deukmejian on the 15-minute afternoon tour. It followed the governor's inspection of fires in the Los Angeles area and an aerial check of more brush fires near Escondido.

McColl, in a morning gathering with about 50 Normal Heights residents, said she will form a task force to examine a multitude of questions.

City equipment and procedures, growth and brush removal on city canyon slopes, the condition of the water system and use of surplus federal equipment are among the subjects to be studied.

Lois Miller, president of the Normal Heights Community Association, and E. Stephen Temko, president of the Normal Heights Community Development Corp., led the neighborhood call for safeguards against incompatible building.

"We are concerned that outside developers will try to make a profit at the expense of our tragedy," Temko said.

Several in the crowd said they fear that builders could circumvent current single-family zoning codes in the area.

Other sections of the area have been eroded by condo and apartment construction, and a history of neglect for Normal Heights was reversed only five years ago by the community, residents said.

The neighborhood gathering was held outside Miller's gutted house on 34th Street.

She said she warned a city committee six weeks ago that access for firefighters was too limited and that water pressure was too low.

"They laughed at me when I said there wasn't water pressure to fight fires here," she said.

City officials earlier said the only water pressure problem was caused by the extraordinary demand on the system by those fighting the fire or using hoses to protect property.

These tips could save your home

By Jeff Ristine

Tribune Staff Writer

The pamphlet distributed by the San Diego Fire Department titled "Canyon Fire: Will Your Home Be Next?" could not be more explicit.

"Hundreds of San Diego homes are in serious danger of destruction by fire because of their proximity to brush-covered canyon areas," it warns. "Any home that has brush growing around it or near it is in danger."

Two weeks ago, City Councilwoman Gloria McColl joined firefighters in distributing the pamphlet to homeowners along canyon rims in her district.

Yesterday, some of the homes she had visited burned to the ground.

"Many of the people said, 'We've lived here 30 to 40 years and we know of the danger,'" McColl recalled. "Some of them had taken all of the precautions."

Some of them had not. The pamphlet advises canyon-area residents to clear brush and other flammable materials for at least 30 feet from their homes and to replace it with fire-resistant ground cover, such as ice plant or perennial grasses.

No one went so far as to say yesterday's Normal Heights fire would have caused no serious damage if everyone had followed the Fire Department's tips, but Mayor Hedgecock said he hoped the devastation would serve as a lesson to others.

"We've been emphasizing time and again the need for these canyon-rim homeowners to cut back brush at least to the property line," Hedgecock said. "They now have firsthand knowledge of what can happen."

"We learn things from every tragedy," the mayor said, "and I think we will be learning things from this one."

The city and other agencies offer homeowners help in protecting their property:

- Brush can be dumped at the Miramar landfill, 5180 Mercury St., telephone 277-0232.

- A list of fire-resistant plants is available from the county farm advisor, Agricultural Extension Service, University of California, telephone 565-5376. The city pamphlet recommends ivy, ice plant and perennial grasses. It says a row of trees or tall shrubs that is kept well watered also can help by deflecting winds.

- The San Diego Fire Department's Fire Prevention Bureau will make inspections and offer advice. You can call them at 236-6495.

McColl, however, pointed out that fire-prevention efforts along canyon rims will do little good unless an entire neighborhood works together. "You've got to get your neighbors to do something," she said.

CANYON FIRE



... will your home be ...

NEXT?

CANYON FIRE CHECK LIST

- | Yes | No | Item |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Have you cleared away all brush and grass for at least 30 feet from your house? |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Have you removed all brush (except trimmed specimens) and planted ground cover for at least 70 feet from your house? |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Have you properly disposed of all brush and grass you have cut down? |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is daily rubbish disposed of properly at your house? |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Do you abstain from dumping clippings and combustible debris into canyons? |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Do you always have a long garden hose hooked up on a convenient outlet — to control flying sparks? |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Do you keep lawn chairs, umbrellas and other canvas furniture (that might be easily ignited from sparks) a safe distance from structure? |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Do you keep matches and cigarette lighters out of the reach of children? |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Do you allow your children to play in and around canyons? |

IN CASE OF FIRE CALL — 911

JULY 15, 1985

TIME

THE WEEKLY NEWSMAGAZINE

A Fiery Tale of Two Cities

Flames rage through sections of Los Angeles and San Diego

In Los Angeles, the thick brush had been baked by temperatures above 100° and swept by winds of 25 m.p.h. Suddenly, huge sections of vegetation were ablaze. According to witnesses, a man and a woman had jumped out of a white car and ignited the city's worst fire in 24 years. In San Diego, 120 miles to the south, some of the canyon brush had grown 12 ft. high and turned tinder-dry in the record heat. It too caught fire, starting the most serious residential blaze in the city's history. Investigators said it was almost certainly a case of arson.

Only last month officials had told residents of both the Baldwin Hills area of Los Angeles and the Normal Heights neighborhood of San Diego to cut back the dense growth. Too few responded. In the Los Angeles inferno, three people were found dead, 52 houses were destroyed, and the property loss was estimated at \$16 million. No one died in the San Diego fire, but 64 homes were burned out and the damage reached at least \$8.5 million.

In both cities, the flames started in lowlands and raced up steep hills to devour homes on the high ground, many

valued at \$200,000 or more. Baldwin Hills is an affluent, predominantly black neighborhood, sometimes called "the black Beverly Hills." Its houses are mainly sprawling stucco structures or split-level residences less than 35 years old. When the flames came, they fed voraciously off the wood-shingled, bone-dry roofs. Fireballs danced from rooftop to rooftop, driven by the winds and creating fire-storm drafts of their own.

Robert Allen, 54, and Mary Street, 76, were caught behind the locked doors and barred windows of the home they shared on Don Carlos Drive. "I could hear her hollering," said Neighbor Tyrone Tyler. "She had to be on fire." But no one could get into the house in time to save Street or her housemate. Near by, Marie Gladden, 62, filled a bathtub and jumped in to avoid the flames, but her body was found in the rubble of the house.

In Normal Heights, perched above San Diego's Mission Valley canyon, relatively new \$250,000 Spanish-style residences with courtyards and swimming pools often sit next to 60-year-old wooden

San Diego's worst residential fire levels expensive homes in Normal Heights



An aerial tanker attacks San Diego inferno

bungalows and duplexes that initially cost as little as \$10,000. The flames that leaped out of the valley and slashed through the overgrown chaparral made few distinctions when they reached the canyon rim. Abraham Nasatir, 80, a professor emeritus of history at San Diego State University and an expert on California lore, watched the fire consume some 500,000 historical papers he had collected. He was working on a nearly finished history of the British in California, a manuscript that had occupied him for 16 years. "I put it down," said Nasatir, "and got out with only the clothes on my back." His consolation was that much of his latest book had been stored in a computer.

Each resident had his own priority on what to try to save. "I got my watch, my Levi's and my dog and ran," said one young man in the neighborhood. He complained that spectators who had come to watch the fire had parked their cars in front of his house, blocking any chance for him to save his Jeep or his parents' Volkswagen Rabbit. "We lost our cars because of those looky-looks," he said bitterly. Almost everyone involved, however, directed the most anger at the unknown arsonists. Said one Los Angeles fireman: "It's terrorism."

—By Ed Magnuson. Reported by Richard Woodbury/Los Angeles













